



North Carolina Department of Natural and Cultural Resources
State Historic Preservation Office

Ramona M. Bartos, Administrator

Governor Roy Cooper
Secretary Susi H. Hamilton

Office of Archives and History
Deputy Secretary Kevin Cherry

November 14, 2017

MEMORANDUM

To: Kate Husband, Architectural Historian klhusband@ncdot.gov
NCDOT/PDEA/HES

From: Renee Gledhill-Earley *RGE*
Environmental Review Coordinator

Subject: Historic Structures Survey Report for Balfour Parkway from NC 191 to US 64,
PA 16-08-0004, R-5744, Henderson County, ER 16-2007

Thank you for your September 28, 2017, memorandum transmitting the above-referenced report. We have reviewed the report and concur with its findings as outlined below.

We agree that the following properties are or remain eligible for listing in the National Register of Historic Places for the reasons outlined in the report. We also agree that the proposed boundaries appear to be appropriate for each of the properties.

- Corn-Rhodes House (HN1355)
- St. Mary's Chapel (HN1967)
- Robert and Emily Johnson Log House (HN1968)
- Hyder Dairy Farm (HN1906)
- Sholtz-Cantrell Estate (HN0059)
- Berkeley Mills Ballpark (HN1903)
- Henderson County Home (HN1971)
- Allen-Jamison House (HN0248)
- Moss-Johnson Farm (HN0043)

The following properties were recommended as not eligible for listing in the National Register. We concur that they are not eligible for the reasons outlined.

- Thomas and Marie Case Log House (HN1969)
- Grimesdale Subdivision (HN1970)
- Henderson County Public School Bus Garage (HN1972)
- James R. and Jane C. McC Carson House (HN1973)
- McC Carson Cemetery (HN1974)

The above comments are made pursuant to Section 106 of the National Historic Preservation Act and the Advisory Council on Historic Preservation's Regulations for Compliance with Section 106 codified at 36 CFR Part 800.

Thank you for your cooperation and consideration. If you have questions concerning the above comment, please contact Renee Gledhill-Earley, environmental review coordinator, at 919-807-6579 or renee.gledhill-earley@ncdcr.gov. In all future communication concerning this project, please cite the above-referenced tracking number.

cc: Mary Pope Furr, NCDOT

mfurr@ncdot.gov

**HISTORIC ARCHITECTURE
ELIGIBILITY EVALUATION REPORT**

**Construct New 4-Lane Expressway (Balfour Parkway) from NC 191
(Brevard Road) to US 64, Henderson County**

**TIP# R-5744
WBS# 50201.1.1**

Prepared For:

**Human Environment Unit
North Carolina Department of Transportation**

**Prepared By:
AECOM Technical Services of North Carolina, Inc.
701 Corporate Center Drive
Raleigh, NC 27607**

**Marvin A. Brown, Principal Investigator
Sarah Potere**

September 2017

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**Marvin A. Brown, Principal Investigator
AECOM Corporation - North Carolina**

**9/14/17
Date**

**Mary Pope Furr, Supervisor
Historic Architectural Resources Section
North Carolina Department of Transportation**

Date

MANAGEMENT SUMMARY

In support of the North Carolina Department of Transportation's (NCDOT) project to construct a new 4-lane expressway (Balfour Parkway) from NC 191 (Brevard Road) to US 64 in Henderson County (TIP# R-5744; WBS# 50201.1.1), AECOM Technical Services of North Carolina, Inc. (AECOM) prepared this report. AECOM completed a first phase of the project in December 2016. NCDOT then requested AECOM to conduct a second phase of the project, which would include evaluating the National Register of Historic Places (NRHP) eligibility of 12 resources and providing the current written report that includes photos of these resources; landscape, historic, and architectural contexts (as needed); evaluation of NHRP eligibility; comparisons to similar types of properties in the region; and recommendations carefully delineating and justifying NHRP boundaries as appropriate. The report was also to include brief evaluations of four resources previously listed in the NHRP or determined NRHP-eligible through a Determination of Eligibility (DOE). The 12 resources requiring further evaluation and inclusion in the report and the recommendations regarding their eligibility are:

Further-Evaluated Resource Name	AECOM Survey Site #	NC HPO Survey Site #	NRHP Eligibility Recommendation
Corn-Rhodes House	3	HN-1355	Eligible under Criterion C
St. Mary's Chapel	16	HN-1967	Eligible under Criterion C (Criteria Considerations A and D)
Robert and Emily Johnson Log House	41 and 42	HN-1968	Eligible under Criterion C
Thomas and Marie Case Log House	52	HN-1969	Not eligible
Grimesdale Subdivision	54	HN-1970	Not eligible
Henderson County Home	58	HN-1971	Eligible under Criteria A and C
Henderson County Public Schools Bus Garage	59	HN-1972	Not eligible
James R. and Jane C. McCarson House	97	HN-1973	Not eligible
McCarson Cemetery	98	HN-1974	Not eligible
Allen-Jamison House	134	HN-0248	Eligible under Criterion C

The four resources requiring brief evaluation and inclusion in the report and their status are:

Previously Evaluated Resource Name	Status	AECOM Survey Site #	NC HPO Survey Site #
Hyder Dairy Farm	DOE, 2014	50	HN-1906
Sholtz-Cantrell Estate	DOE, 1995	51	HN-0059
Berkeley Mills Ballpark	NRHP, 2016	53	HN-1903
Moss-Johnson Farm	NRHP, 1987	135	HN-0043

The project's APE, which mirrors its study area, extends from NC 191 to US 64 north of Hendersonville, entirely within Henderson County. It encompasses approximately 3,544 acres.

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I. PROJECT DESCRIPTION AND METHODOLOGY

At the request of the Historic Architecture Staff of the North Carolina Department of Transportation’s (NCDOT) in-house human environmental unit, AECOM Technical Services of North Carolina, Inc. (AECOM) prepared this report in June and July 2017 in support of NCDOT’s project to construct a new 4-lane expressway (Balfour Parkway) from NC 191 (Brevard Road) to US 64 in Henderson County (TIP# R-5744; WBS# 50201.1.1) (Figure 1). The historic architectural component of this project was conducted in two phases. In the first phase in December 2016, AECOM conducted an intensive-level architectural field survey, which included (1) identifying, analyzing, and evaluating all resources greater than approximately 50 years of age in the Area of Potential Effects (APE), (2) developing historic and architectural contexts and eligibility requirements as necessary, (3) completing preliminary evaluations of National Register of Historic Places (NRHP) eligibility, and (4) presenting a Building Inventory to NCDOT staff. (The Building Inventory is included as an appendix to this report.)



Figure 1. State and project location map

Following the presentation of the building inventory, which included more than 135 individual resources and groups of resources, NCDOT requested AECOM to conduct a second phase of the project, which would include evaluating the NRHP eligibility of 12 resources and providing the current written report that includes photos of these resources: landscape, historic, and architectural contexts (as needed), evaluation of NHRP eligibility, comparisons to similar types of properties in the region, and recommendations carefully delineating and justifying NHRP boundaries as appropriate. The report also includes brief evaluations of four resources previously listed in the NHRP or determined NRHP-eligible through a Determination of Eligibility (DOE). The following table identifies the 12 resources requiring further evaluation and inclusion in the report and the recommendations regarding their eligibility. It is followed by a table identifying the four resources requiring brief evaluation and inclusion in the report and their status.

The project's APE, which mirrors its study area, extends from NC 191 to US 64 north of Hendersonville, entirely within Henderson County. It encompasses approximately 3,544 acres (Figure 2).

In April and May 2016 AECOM evaluated the 16 resources as required, in compliance with the requirements of Section 106 of the National Historic Preservation Act of 1966, as amended, other state and federal regulations, and NCDOT's current *Historic Architecture Group Procedures and Work Products* and the North Carolina Historic Preservation Office's (HPO) *Report Standards for Historic Structure Survey Reports/Determinations of Eligibility/ Section 106/110 Compliance Reports in North Carolina*. It drafted this report in June and July 2016.

AECOM senior architectural historian Marvin A. Brown, who meets the Secretary of the Interior's qualifications for history and architectural history (CFR 36 CFR Part 61), conducted the fieldwork. Mr. Brown and Sarah Potere, who also meets the Secretary's qualifications, researched and analyzed the resources and drafted this report. As part of this effort, Mr. Brown visited, documented, and photographed the resources and, with Ms. Potere, conducted supplementary research. This effort included reviewing Henderson County's deed, GIS, plat map, property, and tax records; conducting research at the Henderson County public library in Hendersonville and the Buncombe County public library in Asheville; speaking with knowledgeable local residents; studying the Henderson County files of the North Carolina State Historic Preservation Office; and conducting online historical and genealogical research.

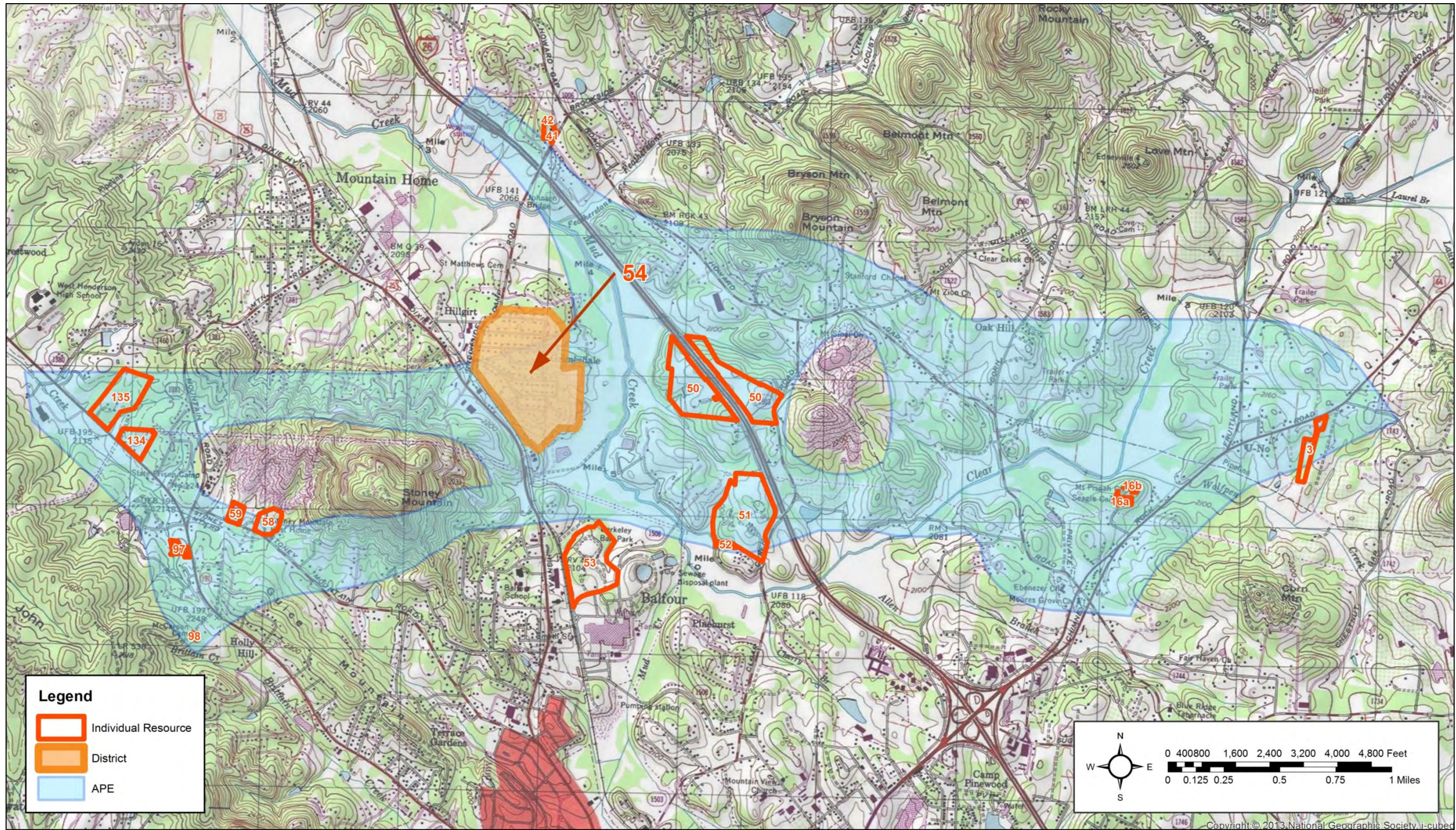



Figure 2. Area of Potential Effects and resource locator map

II. INVENTORY AND EVALUATIONS

(#3) Corn-Rhodes House

	Corn-Rhodes House
	HN-1355 [AECOM survey # 3]
	2886 Chimney Rock Road, Hendersonville vicinity
	REID/Parcel # 9955323 PIN # 9680231016
	House, ca. 1875-1885 Outbuildings, 20 th century
	Recommended eligible for NRHP listing under Criterion C

Description

The 6.19-acre Corn-Rhodes parcel extends south of Chimney Rock Road (US 64). It is mostly open land at the front and becomes progressively denser with mature trees as the narrow oblong lot extends back from the road. The tract holds seven resources: the primary Corn-Rhodes House, which dates to the late nineteenth century; a stone retaining wall fronting the road that is likely contemporary with the house; and five twentieth-century outbuildings (Figure 3). Once located in a more rural setting, the house now sits close to the road directly opposite an apple storage facility and a seasonal apple and farm market. West and south of the tract are numerous modern houses within the city limits of Hendersonville, which the south end of the parcel abuts. North and east are apple orchards and storage buildings, woodland, and additional residential development, much of which is less than 30 years old.

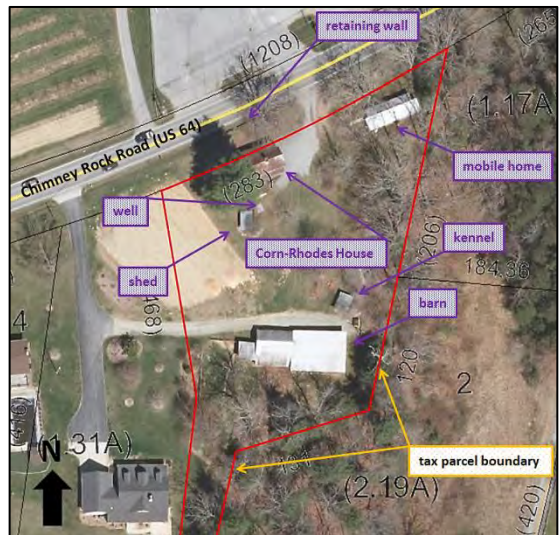


Figure 3. At left, looking southeast from Chimney Rock Road at (left to right) stone retaining wall, house, canning shed, and barn; at right, resource locator map

Corn-Rhodes House [contributing building]

The one-story, single-pile, wood-frame Corn-Rhodes House is clad in weatherboard siding and features simple cornerboards. Plain surrounds frame its double-hung, six-over-six windows and multi-panel doors (Figure 4 through Figure 9). Overall, the five-bay-wide house is simply finished. The house's three western bays, likely dating from ca. 1875-1885, comprise its original hall-parlor-plan block. They sit on a stone foundation hidden by a wooden skirtboard (most likely added to create a more cohesive look when the house was extended) and are topped by a pressed-metal-shingle, gable-end roof. When looking at the front (north) elevation, the original section of the house is clearly differentiated from the later, two-bay, west wing addition by a thin piece of white molding to the left of the original three bays. The interior placement of a once-exterior-end fieldstone chimney on the ridge of the gable further indicates that the house was later extended to the east. The addition sits atop a brick foundation that is largely masked by the wooden skirtboard. Its proportions and finish, which match those of the original section, suggest it was added in the late nineteenth century. A one-story, shed-roofed porch supported by wooden Tuscan columns shades all five bays of the house's front elevation. Its beadboard ceiling is painted "haint blue." The porch stands on a brick foundation like that of the east wing and was likely added along with the addition.

An ell that extends to the south of the original block gives the house an L-shaped footprint. Its stone foundation and form suggest it was built at the same time as the original block. A porch extends across the house's rear elevation and part of the ell, terminating at a small enclosed room. An exterior, yellow-brick, chimney stack marks the ell's south gable end.



Figure 4. North front and west side elevations of house; retaining wall in foreground and mobile home at far left



Figure 5. North front elevation with three bays of original block to right of vertical molding and later wing to left



Figure 6. East side and north front elevations of house; barn at left distance



Figure 7. South rear elevation of house with ell at left



Figure 8. West side and south rear elevations of house

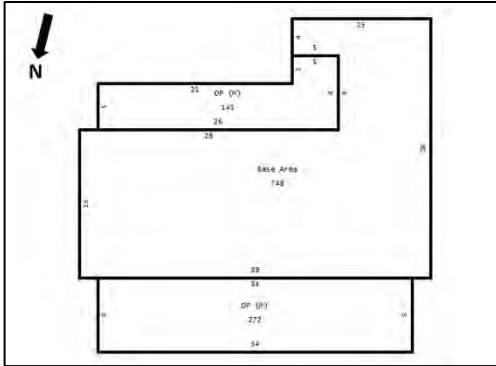


Figure 9. Image of the floor plan sketch of the house from property tax records (source: Henderson County tax records, 2005 sketch)

Although the interior of the house was inaccessible, views through windows into its original block reveal its two-room plan and much of its finish (Figure 10). The west front window serves the bedroom or “parlor.” It is simply finished with an unpainted beadboard partition and flush-board walls. A window in the gable end above this room suggests that it is topped by a loft. The “hall”—once the east but now the center principal room—is entered by the original front entrance and served by the original east window. Painted flush boards face its walls. Its Queen Anne-style mantel, complete with spindles and a mirrored overmantel, is the most stylish visible feature of the otherwise plainly finished house. The interiors of the later-added wing and the ell were not viewed. The house’s form and exterior and the two original rooms are believed to retain their integrity. It is therefore recommended as a building that contributes to the historic property, of which it is the centerpiece.



Figure 10. Bedroom or parlor and beadboard partition wall at left; flush boards and Queen Anne-style mantel in hall at right

Retaining Wall [contributing structure]

The stone retaining wall between the front of the house and Chimney Rock Road marks the current edge of the house's parcel (Figure 11). Immediately beyond (south of) it is NCDOT right-of-way and then a narrow grassy verge at the edge of pavement. The wall is constructed of fieldstone laid with mortar. Two large stones serve as steps, which are placed opposite the house's original entrance. It appears to date from the late nineteenth century. Although weathered and disrupted in part by tree roots, the wall is believed to retain its integrity and is therefore recommended as a structure that contributes to the historic property.



Figure 11. Looking south from road at wall and north elevation of house

Barn [contributing building]

Located south of the house is a twentieth-century barn currently utilized for horses (Figure 12 and Figure 13). It is comprised of three distinct sections: the main barn, the east shed, and the west shed. Built first, probably in the early/mid-twentieth century, is the one-and-a-half-story enclosed barn, which sits atop a stone pier foundation and is of wood frame construction. It has a side-gabled, standing-seam-metal roof and is clad in horizontal-board siding. It is three bays wide and two piles deep, with the first pile arranged as an open-air bay and the second enclosed for housing livestock. The enclosed area of the bottom floor has four doors opening into converted horse stalls. A half-story loft is situated above. The east addition is an open-air pole barn of post-in-ground construction that is three bays wide and used for tractor/machine storage. The west addition, also of pole-barn construction, is only one bay wide and is used as a horse run-in. Both additions feature corrugated metal roofing. Attached to the rear of the barn complex is a small fenced-in paddock accessible from the barn through a rear door. The pole barns and paddock appear to be later additions dating from the mid-/late twentieth century. The main body of the barn is roughly contemporary with the house and supported its rural function. .



Figure 12. Looking southeast at front elevation of barn with stall doors



Figure 13. Looking northeast at rear of barn with single-bay pole barn at left and three-bay pole barn at right

Canning Shed [noncontributing building]

Located south of the house, this outbuilding is a small, square, single-room shed constructed of concrete masonry unit (CMU) blocks (Figure 14). A later twentieth-century addition to the site, the building features one door on its east side and one four-over-one, double-hung window on the west. A small porch is created by a roof overhang supported by wooden posts. The interior of the building is lined with shelves and appears to have been used for canning. Due to its late twentieth-century construction date, the canning shed is recommended as a noncontributing building.



Figure 14. Looking southeast at canning shed with well cover at left and barn at right

Well [noncontributing structure]

Situated in between the canning shed and the house, this structure is a wooden box standing approximately two feet off the ground with a hinged, standing-seam-metal roof/trapdoor (Figure 15). A metal pipe and tap at one end suggest it covers a well. A wire leading into the box likely powers an electric pump. The large dimensions of the door suggest that it covers a wide early well. As the original aboveground portion of the well has been removed, and the box and cover are modern, the well is recommended as a noncontributing structure.



Figure 15. Looking southwest at house at right, well at center, and canning shed to rear

Dog Kennel [noncontributing structure]

Of wooden post-in-ground construction, the open dog kennel is topped by a corrugated metal roof under which is a chain-link fence (Figure 16). The structure is located to the south of the house. Due to its modern construction date, the dog kennel is recommended as a noncontributing structure.



Figure 16. Looking northeast at dog kennel from barn

Mobile Home [outside of proposed NRHP boundaries]

A late twentieth-century addition to the parcel is the house trailer that sits on the road directly east of the house (Figure 17). A double-wide mobile home, its square footage is divided into two usable spaces—an enclosed living space with a large screened-in porch attached to its north. The trailer is clad in blue vinyl siding and immobilized on a concrete foundation. The building stands at the northeast edge of the house parcel and would not contribute to the historic property. As described below, it has therefore been excluded from the property’s recommended NRHP-eligible boundaries.



Figure 17. Looking southwest at mobile home at left and house at right

History

The form and the exterior appearance and finish of the Corn-Rhodes House suggest that it was erected in the late nineteenth century. This is bolstered by its interior wall finishes and the Queen Anne-style mantel of its now central room. Tax records list 1880 as the year the house was built. In 2014 architectural historian Clay Griffith posited an 1880s construction date (Griffith 2014a:27). (The house was not included in the early survey of Henderson County (Williams 1980).) The house was likely erected by Jesse B. Corn and his wife, J.D. Corn, between about 1875 and 1885, the year of Jesse's death.

In 1895 J.D. Corn, along with Asbury (or Asberry) H. and Margaret Amanda Featherstone Gilreath, transferred 60 acres including this property to B.B. Jackson for \$225 (Henderson County Deed Book 33/Page 388). The property at that time was effectively owned by Corn, but clouded by a legal deficiency. The deed stated that "many years ago" Margaret Gilreath had sold the property "known as the J.D. Corn place" to "Jessie B. Corn," but had failed to sign the deed. The 1895 deed cleared the ownership concerns and passed all title to Jackson.

Jesse (or Jessie) B. Corn was born in 1818 and died in 1885. According to the federal census, in 1860 he lived in Edneyville, north up the road, with his wife, Jean (or Jane). Jean, whose maiden name was Drake, was the J.D. Corn of the 1895 deed (see genealogical material at the entries for the Corns at www.findagrave.com). Jean Corn, born in 1822, is absent from the 1900 federal census, but in 1910 lived on Fruitland Road, not too distant from the property, with her daughter and son-in-law, Freecy and William Maxwell.

B.B. Jackson only held the property for five years. In 1900 he sold it to Vance Rhodes (minus three acres transferred to someone else) for \$220 (Deed Book 41/Page 242). The house has remained within the Rhodes family since, although the acreage associated with it has contracted over time. Vance Rhodes (1868-1918) and his wife, Nancy Love Byers Rhodes (1882-1968), known as Nannie, acquired other property connected to the house lot between 1888 and 1914 (see two deeds at Deed Book 64/Page 135, both dated 1898 and filed in 1908; Deed Book 70/Page 50 (1910); Deed Book 95/Page 60 (1914); Deed Book 95/Page 62 (1914); and Deed Book 189/Page 114 (1929)). A local obituary for Vance Rhodes, who died in 1918, described him as a "well known farmer of Uno" (*Hendersonville Visitor*, May 7, 1918; see also *Hendersonville French Broad Hustler*, May 9, 1918). Uno was the historic name of the community in which the house stands.

In 1968 Nannie Rhodes (called Nan Juno Byers) deeded the house and extended property associated with it to daughter Minnie Lee Rhodes Freeman (1904-1967), subject to a reserved life estate. Minnie Freeman died intestate in 1967 and Nannie Rhodes followed her, also without a will, in 1968. In 1970 heirs Gene A. and Karen E. Freeman deeded a long, narrow 9.33-acre portion of the property on the east—including the house—to Grace Freeman Peterson (Deed Book 472/Page 568), who remains its current owner. The property associated with the house is now 6.19 acres.

National Register of Historic Places Evaluation

The Corn-Rhodes House has been little altered since the turn of the nineteenth/twentieth century and maintains a high level of integrity with regard to its material, design, and workmanship. It retains weatherboard siding, a stone and brick foundation, six-over-six sash, multi-panel doors, a front and rear porch, and a stone chimney stack. The original two rooms retain flush-board walls and a

beadboard partition wall, as well as one decorative flourish, a Queen Anne-style mantel with spindles and a mirrored overmantel. Although multiple late twentieth/early twenty-first century houses have popped up in the surrounding area, the Corn-Rhodes House retains a medium level of integrity with regard to setting—its immediate surroundings are mainly woods and agricultural land. The building’s preserved rural setting, in combination with its high level of integrity of both location and association—it stands on its original building site and still relates to its contemporary barn and retaining wall—provides for the retention of overall feeling. Though much has changed in the property’s greater proximity, its immediate surroundings retain their original agricultural feel.

Compared to other houses in Henderson County with similar forms and dates, it is a particularly intact example of its type. The survey work of architectural historians Michael Ann Williams in 1980 and Clay Griffith in 2014 identified similar vernacular, one-story, single-pile houses, also of frame, in Henderson County. Griffith summarized the Riley Wall House (HN-1274) in the Gerton community as follows:

The Riley Wall House is believed to date from the late nineteenth century and its construction is attributed its original owner, Riley H. Wall (1840-1940). Resting on a stone foundation, the one-and-a-half-story heavy timber frame dwelling is covered with weatherboards and capped by a standing-seam metal, side-gable roof. An engaged full-width porch carries across the façade and a shed-roof kitchen addition extends across the rear elevation. An exterior stone chimney rises against the north side elevation. The porch, which is supported on chamfered wood posts, shelters a single-leaf wood door. Windows are typically nine-over-six double-hung sash on the first story and six-over-six sash on the upper story. The house is vacant and deteriorating with sections of the roofing material missing, broken weatherboards, and a collapsing porch floor.

In spite of deterioration—which has led to far more material loss than at the Corn-Rhodes House—in 2014 the house was determined NRHP-eligible under Criterion C for its architecture.



Figure 18. Riley Wall House (HN-1274): east front and south side elevations, left; south side and west rear elevations, right

The J.J. Justice House (HN-1193) in the Blue Ridge community—recorded by Williams in 1980 and revisited by Griffith—is a one-story, single-pile, gable-end house similar in form, finish, and age to the Corn-Rhodes House (Figure 19). Due to partial loss of its roof and changes to some bays and its porches and ell, it has less physical integrity than Corn-Rhodes. The William Jones House (HN-1187), also in the Blue Ridge community and recorded by Williams and Griffith, appears to be closest in appearance of the identified comparable houses to Corn-Rhodes (Figure 20). It is one-story tall and

one-room deep, with two front entrances, a stone chimney, a rear ell, and two intact porches. Its only notable apparent alteration is the addition of a room to the side of the ell.



Figure 19. J.J. Justice House (HN-1193): north front elevation, left; east side and west rear elevations, right



Figure 20. William Jones House (HN-1187): south side and west rear elevations, left; east front and north side elevations, right

In 1980 Williams described the Jason Justice House (HN-1194) near Ottanola as a “Typical one story vernacular frame dwelling” with a hall-parlor plan and board-and-batten siding (Figure 21). She dated it in the late nineteenth/early twentieth century. Other than an exposed stone chimney, some three-over-one sash, and its basic form, the house retains little exterior integrity, due to significant modern changes to its exterior materials, front porch, and ell.



Figure 21. Jason Justice House (HN-1194): south front and west side elevations, left; south front and east side elevations, right

Two other modest turn-of-the-century houses that Williams recorded have center-hall plans and also dormers that give them a full half-story. Siding, the ell, and some sash have been altered at the Frady House (HN-1146) in Fletcher, negatively affecting its integrity (Figure 22). The less altered Frank Justus House (HN-1192) near Upward retains its weatherboards, sash, and porch, but has been extended to the rear (Figure 23).



Figure 22. Frady House (HN-1146): east side and north front elevation, left; north front and west side elevation, right



Figure 23. Frank Justus House (HN-1192): south front and west side elevations, left; north rear and east side elevations, right

Two resources within the Corn-Rhodes House’s proposed NRHP boundaries—in addition to the contributing house around which the historic property’s significance revolves—are believed to contribute to significance. A late nineteenth-century fieldstone retaining wall in front of the house is recommended as a contributing structure and an early/mid-twentieth-century barn behind the house, which is roughly its contemporary, is recommended as a contributing building. Due to their late twentieth-century construction dates, three resources are recommended as noncontributing: a CMU canning shed, a covered well, and a dog kennel. A late twentieth-century mobile home at the northeast corner of the house tract is excluded from the proposed boundaries.

The Corn-Rhodes House, with associated resources, is eligible for NRHP listing under Criterion C as embodying the distinctive characteristics of a type of construction, that of a straightforward, late nineteenth-century, vernacular house. Its period of significance is recommended as 1875-1900. The central resource is the house, the original block of which is a vernacular one-story, single-pile, gable-end, hall-parlor-plan dwelling that was erected ca. 1875-1885. The block’s one-story rear ell is likely its contemporary and the two-bay wing added to its east appears to date from before 1900.

The property has no known association with specific historic events or with events that have made a significant contribution to broad patterns of history. It is therefore not recommended as NRHP-eligible under Criterion A. The Corn and Rhodes family members associated with it were not persons significant in our past and it is accordingly not recommended as NRHP-eligible under Criterion B. Its standing resources are also not recommended as NRHP-eligible under Criterion D, as they are unlikely to yield important historical information that could not be derived from other sources.

CORN-RHODES HOUSE		
Element of Integrity	Level of Integrity	Assessment
Location	High	Stands on place where constructed.
Design	High	Little altered house with original hall-parlor-plan block and rear ell, along with early side wing; retains form, weatherboards, cornerboards, stone and brick foundation, six-over-six sash, multi-panel doors, plain surrounds, front and rear porches, stone chimney stack and—within original block—flush-board walls, beadboard partition wall, and Queen Anne-style mantel. Main body of contributing barn little altered and contributing fieldstone retaining wall still in place near road.
Setting	Medium	The area surrounding the house is partially agricultural—planted in apple trees—and woodland. Houses mostly erected within the past 30 years, and apple storage and farm market facilities, also stand nearby.
Materials	High	Retains almost all of its late nineteenth-century materials.
Workmanship	High	Retains almost all of its late nineteenth-century workmanship.
Feeling	High	Retains intact physical elements of integrity along with location and a partially intact setting that includes agricultural fields. Intact retaining wall and barn bolster integrity of feeling.
Association	High	Retains intact physical elements of integrity along with location and a partially intact setting that includes agricultural fields. Intact retaining wall and barn bolster integrity of association.

Proposed National Register of Historic Places Boundary

The recommended NRHP boundary of the Corn-Rhodes House property encompasses approximately one acre, most of which is located within the current tax parcel (# 9955323) (Figure 24 and Figure 25). The 6.19-acre parcel is only a piece of the much larger tract that deeds indicate was originally associated with the house, which was whittled down by division during the twentieth-century. The precise extent of the early property has not been determined, but current tax maps depict other long narrow tracts to either side of the house, some further subdivided, that were part of its land. These are occupied by mid-/late twentieth-century houses. To provide an appropriate boundary and setting, not all of the current tax parcel is included. It has been reduced to remove a large section of land to the south that is barely connected by a hyphen to the grounds of the house and associated resources. This land is no longer under cultivation and includes later-growth woods. A small piece of the tract at the northeast, on the far side of the entry drive, is also excised, as it includes a late twentieth-century mobile home that would otherwise be noncontributing and out of character with the property. However, the recommended boundary is extended north, beyond the parcel boundary shown on the county tax map, into the right-of-way of Chimney Rock Road (US 64). This addition takes in the house’s front lawn from the north edge of the porch up to and including the original stone retaining wall. This section of land is maintained by the property owners rather than NCDOT. Beyond (north of) the lawn and wall is a shallow drainage ditch and a narrow stretch of grass that abuts the edge of the roadway pavement, all of which are maintained by NCDOT. The north side of the drainage ditch marks the proposed boundary’s end.

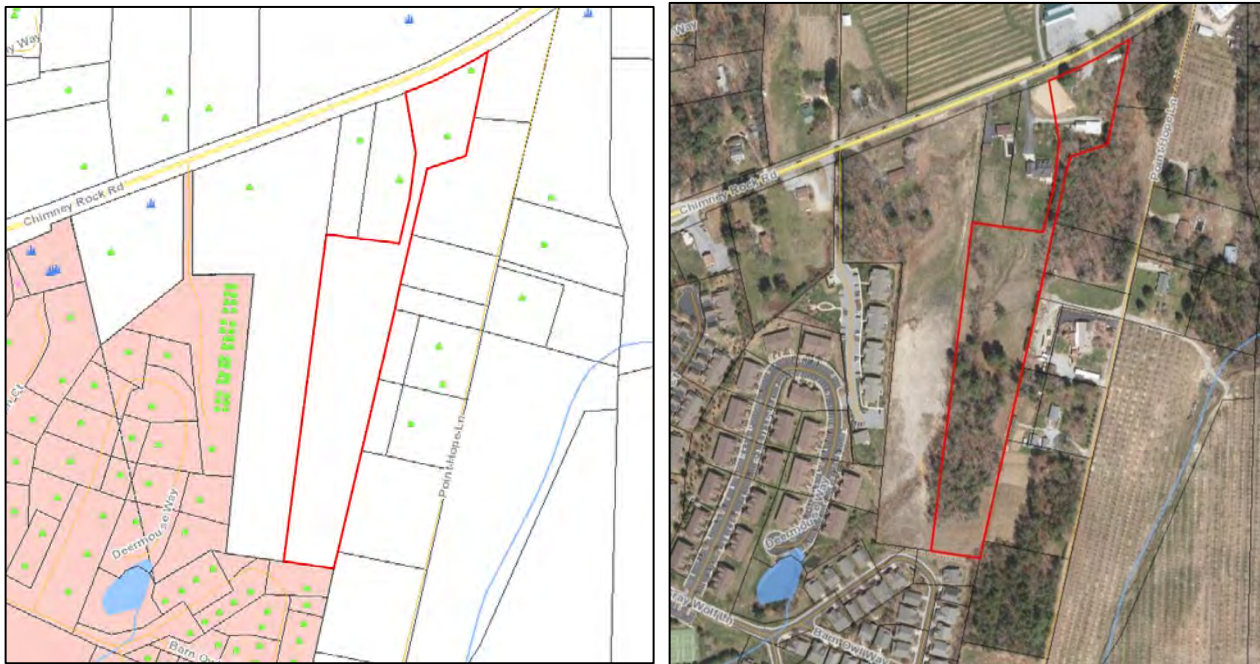


Figure 24. Tax maps with current parcel in red: at left, long narrow lots once part of house property (some further subdivided) flank parcel; orthogonal image with development, at right

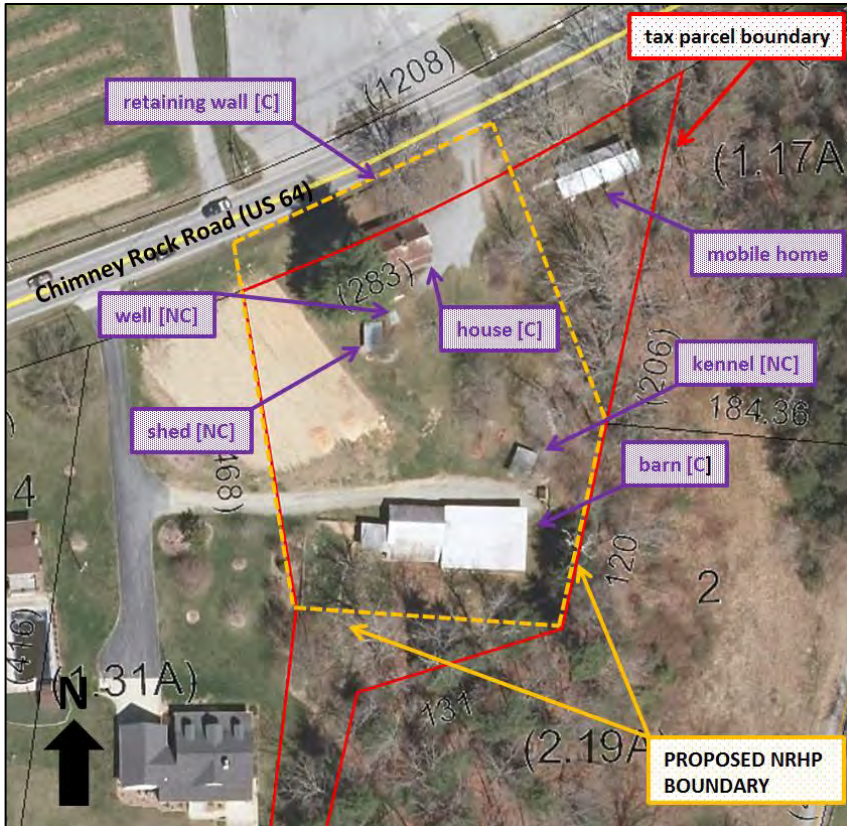



Figure 25. Proposed NRHP boundary map

(#16) St. Mary’s Chapel

	St. Mary’s Chapel
	HN-1967 [AECOM survey # 16a]
	186 St. Mary’s Drive, Hendersonville vicinity
	REID/Parcels ### 9946360, 9966683, 9966682, and 9966684
	PIN ## 9670717953, 9670727082, 9670728102, and 9670820210
	Church, ca. 1940 to ca.1954; Cemetery, mid-19 th -century to present
Recommended eligible for NRHP listing under Criterion C (Criteria Considerations A and D)	

Description

St. Mary’s Chapel and its associated Drake-Seagle Cemetery and Rev. John C. Seagle House sit just outside of Hendersonville’s city limits on approximately 1.5 acres of land. The parcel contains four resources: the mid-twentieth century St. Mary’s Chapel; the ca. Seagle House to the chapel’s north; a mid-nineteenth/early twentieth-century cemetery to the west of the chapel; and a late twentieth-century office building and small shed located off of the chapel’s northeast corner (Figure 26). A gravel parking lot encompasses a large portion of the clearing to the north and west sides of the chapel, and serves to connect it to the other resources on the parcel. A small modern playground is located to the back (or northeast side) of the office.

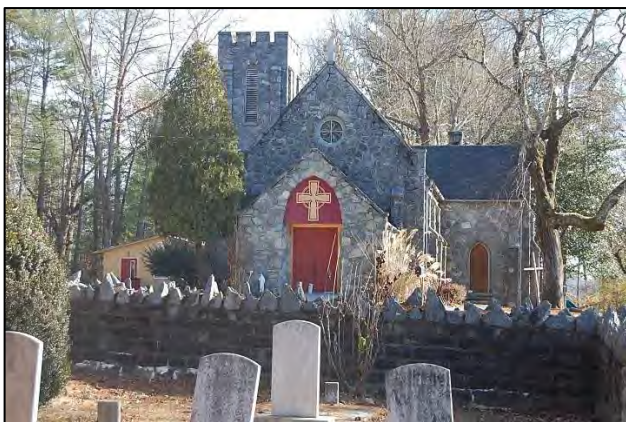


Figure 26. Drake-Seagle Cemetery, St. Mary’s Chapel, and office, at left; resource locator map, at right.

St. Mary’s Chapel

The Gothic Revival-style St. Mary’s Chapel is of masonry construction and employs a locally quarried, rough-cut, gray granite stone as its primary building material (Figure 27 through Figure 30). The building displays a cross-gabled roof clad in asphalt shingles, and features raised parapets on the front

(west) and rear (east) gable ends. Designed to resemble the traditional cruciform layout, the chapel is divisible into four primary sections: the central body of the building (consisting of the nave and east chancel), the north tower, the south transept, and the narthex (west side).

The granite stones serve as visual markers of the building's lengthy construction period, which spanned over 14 years (delays were caused by World War II). Variances in both the color of the mortar and the stones—visible from the interior and exterior of the building—clearly show the various building phases. Unlike many buildings affected by this situation, the chapel's main footprint was constructed all at once. The differences in materials are visible throughout the height of the walls rather than from one space to another: the walls were built of a dark-gray stone to about the tops of the windows, construction halted, and then they were completed with a lighter-colored stone and mortar. The exception to this construction pattern is the small narthex attached to the west side of the building. This space was added sometime post-1954, as it does not appear in a photo dating from that time. Additionally, the coloration of the narthex's stone and mortar is lighter in composition than the rest of the building.

The building retains its original windows. Fixed, ten-light, arched windows are found on the north, east, and south sides of the chapel. The windows are clear, but for stained glass at the chancel. The narthex features rectangular multi-light windows. A small rose window appropriately lights the west gable of the nave. The building's primary access is through double doors on the narthex's west gable end. Secondary doors, designed in a pointed-arch shape, are located at the base of the north tower and south transept. All doors are painted red; the secondary doors have stone steps at their base. Stone flying buttresses rise at all sides of the original building, but are absent from the narthex addition. Battlements top the north tower. A short stone wall connected to the south wall of the south transept features a small iron gate in front of steps that lead down to basement access. A small, interior, stone chimney protrudes from the roof of the south transept.



Figure 27. West front and south side elevations of St. Mary's Chapel



Figure 28. South side and east rear elevations of St. Mary's Chapel



Figure 29. East rear elevation of St. Mary's Chapel



Figure 30. North side and west front elevations of St. Mary's Chapel

The interior layout of the chapel reflects the exterior design. Upon entrance through the narthex doors, worshippers are greeted by a small nave containing one central aisle flanked on either side by seating (Figure 31 and Figure 32). The original pews are no longer present; instead, reclaimed pews and chairs from other local churches are utilized (Cisneros 2017). The center aisle leads to a small chancel at the east end of the building. A large stone archway trimmed with a wood surround serves to divide these two spaces. The floors appear to be original: the nave has narrow wooden flooring and the narthex utilizes the same granite as the chapel walls. Exposed stone comprises the interior walls, and the ceiling is exposed framing. (Sheets of foam board resting against the walls below the windows provide insulation during winter months.)



Figure 31. St. Mary's Chapel looking southeast toward chancel; note dark stone between bays at right (south) from first construction period



Figure 32. St. Mary's Chapel looking northeast toward chancel; note lightened grout above bays at left (north) from second period of construction and exposed wooden trusses

Drake-Seagle Cemetery [contributing site]

The Drake-Seagle Cemetery west of the chapel's main entrance is a private burial ground for members of the two extended families (Figure 33 through Figure 35). Square in form, it is surrounded by a deep wall approximately four feet tall with an iron entrance gate at the south. The wall's rough granite blocks and the double row of pointed-cut granite stones that top it appear to be contemporary with the church. Many of the graves, however, are much earlier: the markers date from the mid-nineteenth century to the end of the twentieth. Regardless of date, almost all of the graves are marked by plainly finished, rectangular or segmental-arched, granite headstones. The intact cemetery is recommended as a contributing site.



Figure 33. Looking northeast at south wall of cemetery and chapel beyond



Figure 34. Looking northwest at markers within cemetery walls



Figure 35. Looking northeast into cemetery; note width of wall topped by interior and exterior rows of pointed stones, at right

Office and Shed [noncontributing building]

Located to the northeast of the church is a small modern office building. Rectangular in plan, it stands on a continuous concrete masonry unit (CMU) foundation and is clad in yellow vertical siding. Standing seam metal covers its low-slope gabled roof. A small shed building of similar construction is located adjacent to the office building, to which it is connected by a wooden deck (Figure 36). Due to its late twentieth/early twenty-first-century construction date, the office/shed is recommended as a noncontributing building.



Figure 36. Looking east at office and shed, at left, and northeast, at right

Rev. John C. Seagle House [contributing building]

Standing on a lot that currently comprises about one acre, the ca. 1940 Rev. John C. Seagle House is located northeast of St. Mary's Chapel, which it faces but from which it is veiled by trees. The house sits in the clearing of a densely wooded lot that also includes a small twenty-first-century memorial garden or cemetery. A gravel parking lot accessible by means of a concrete sidewalk and stairs is attached to the house's southwest corner. A large concrete patio (modern addition) is located on the house's primary façade.

Constructed of a local, rough-cut, granite stone, the Seagle House stands one story tall, on a continuous stone foundation with a basement level accessible from the house's southwest side (Figure 37 through Figure 40). The house is U-shaped in plan with two small wings on its primary (southwest) façade and features a low-pitched, cross-gable roof clad in asphalt shingles. Slightly overhanging eaves extend around all sides of the house, with the front-facing gabled wings marked by a heavy wood cornice and cornice returns. The primary façade features original, fixed, 16-light windows flanking either side of the modern main door. Double-hung, six-over-six windows on the gable ends of the wings, in addition to those at the rear (northeast) elevation, also appear to be original. Other sash has been altered. All of the windows feature stone window sills and deep-set openings that reflect the house's masonry construction. Basement windows are visible on the north, west, and east sides of the house. A central, interior, stone chimney rises on the east slope of the roof. A rough stone retaining wall extends out from the southeast side of the house, to the left of a double-door basement access originally faced with a garage door. Stone stairs lead from a secondary first-floor door at the rear (east side) of the house onto the open lawn.

But for a granite mantel in the central front room, the interior is simply finished with plain surrounds, wallboards, and wooden floors (Figure 46). The wallboards are modern replacements for the original wall cladding. Narrow corridors open into the double pile of rooms at the northwest and southeast sides and the rooms along the northeast rear elevation.



Figure 37. Southwest front elevation of house



Figure 38. Northwest side and southwest front elevations of house



Figure 39. Northeast rear and southwest side elevations of house



Figure 40. Southeast side and northeast rear elevations of house



Figure 41. Central front room, left; narrow interior corridor leading to front gable room, right

History

St. Mary's Chapel

St. Mary's Chapel and the Drake-Seagle Cemetery stand on land reportedly occupied by members of the Drake family by 1810. Descendants of this family built the chapel between ca. 1940 and ca. 1955 (HendersonHeritage.com:St. Mary's Chapel entry; Reak 1988:12-13; Ruscin 2014).

The 1810 federal census identifies Winny Drake as the head of a household that included a daughter and two young sons. One of these sons was Nathan M. Drake (1798-1876), whose wife was Eleanor Osborne Drake (1798-1858). Their daughter, Mary S. Drake (1837-1914) married Phillip C. Seagle (1833-1902) after the Civil War, at which time the property became associated with the Seagle family. The Seagles had eight children. One son, Thomas (1872-1928), lived on the property. Two others, Episcopalian clergymen Nathan and John, were to return to build the chapel in honor of their mother (HendersonHeritage.com:St. Mary's Chapel entry; Ruscin 2014). All these individuals, but for Winny Drake and Nathan Seagle, are buried in the Drake-Seagle Cemetery.

John and Nathan Seagle attended the Ravenscroft Mission School in Asheville and the General Theological Seminary in New York City (Figure 42). Rev. John Creighton Seagle (1871-1947) went on to attend the University of North Carolina. In 1903 he was ordained an Episcopal deacon and, in 1909, an Episcopal priest. His congregations included St. Luke's in Lincolnton, the North Carolina town the Seagle family was from, and St. Paul's in Eastchester, New York. From 1918 to 1924 he was rector of St. Philip's in Brevard, North Carolina. From Brevard, Reverend Seagle went to St. Paul's in Salisbury, North Carolina and then to St. John's in Charleston, South Carolina. He retired from St. John's in 1939 and returned to the family property outside of Hendersonville the following year. According to one account, John began construction of St. Mary's Chapel in 1940, when he returned home. (Other accounts place the start of construction in the 1930s.) World War II held up the chapel's construction and John Seagle died in 1947, prior to its completion. It was left to his brother, Nathan, to finish the building (Reak 1988:12-13; HendersonHeritage.com:St. Mary's Chapel entry; Ruscin 2014; Asheville *Citizen-Times*, May 19, 1940).

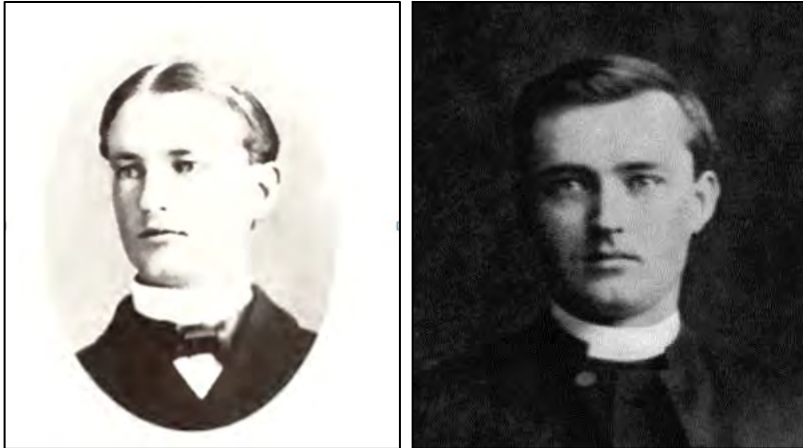


Figure 42. Rev. John Seagle, ca.1900s, at left (source: Reak, *St. Philip's Episcopal Church, a History*, 1938); Rev. Nathan Seagle in the late 1890s, at right (source: Seagle, *Memoirs of a Metropolitan Minister*, 1955)

Rev. Nathan Adolphus Seagle (1868-1957) remained in New York City upon graduation from seminary and ordination in 1895. Between 1895 and 1900 he was curate of St. Thomas Church. From 1899 until he retired in 1943 he was rector of St. Stephen's (*Living Church* 1957:20; Ruscin 2014; Christ & St. Stephen's Episcopal Church n.d.; Seagle 1955). According to one account, he was "one of the city's best known clergymen" (Reak 1988:12-13). He was certainly popular with relocated Southerners. In addition to his congregational role, he served as chaplain to such organizations as the Daughters of the Confederacy, the Sons of Confederate Veterans, and the New York Southern Society. In 1906 he was called to the deathbed of St. Stephen's congregant Varina Anne Banks Howell Davis, the widow of Confederate President Jefferson Davis, and officiated at her burial in Richmond, Virginia (*New York Times*, October 17, 1906; Seagle 1955). Reverend Seagle did not return to Hendersonville upon his retirement, as his brother had. He did, however, take up responsibility for the chapel, which was completed by 1955, two years before his death (Ruscin 2014) (Figure 48).

In his memoirs Nathan Seagle recalled that his mother, Mary, had set aside land for the church prior to her 1914 death, and that his brother, John, had commenced construction in her memory. "The Blue Ridge Hills," he wrote, "supplied the beautiful gray granite for the building." He added that his brother had "originally envisioned" the building's "simple Gothic architecture" and continued:

It was felt [by John] that another church was needed in this rapidly growing area. So strongly did this project appeal to me after my brother's death, and in accordance with our mother's hopes, I undertook to proceed with the construction of the church. Consecration of this little Episcopal church, appropriated named St. Mary's, was set to take place on our mother's birthday (Seagle 1955:96).

The church appears to be complete, minus its vestibule, in a photograph included in Seagle's memoirs. As Mary Seagle's birthday was in November, and the memoirs were published in 1955, the building was likely consecrated in November 1954.



Figure 43. St. Mary's Chapel, ca.1954 (source: Seagle, *Memoirs of a Metropolitan Minister*, 1955)

Mount Pisgah Lutheran Church's congregation leased the church and held services there until the late 1980s (Ruscin 2014). Seagle family trustees leased it in 2002 to St. James Episcopal Church of Hendersonville to serve Spanish speakers. Under the Spanish name *La Capilla de Santa Maria*, it serves as a Hispanic Episcopal mission church (HendersonHeritage.com:St. Mary's Chapel entry; Cisneros 2017).

Drake-Seagle Cemetery

The earliest burials in the Drake-Seagle Cemetery are those of Nathan M. (1798-1876) and Eleanor Osborne Drake (1798-1858) and two or three of their children, Hezekiah (1826-1857), Nathan (1840-1858) and perhaps (according to one source) Winnie M. Drake (1830-1858). Later burials include individuals with the surnames Seagle, Wiley, Tucker, Cody, Harper, Jones, Smith, Nelson, Shupe, and Dowcett. The large majority of these individuals, if not all but one, were related to the Drake family through blood or marriage. ("Aunt" Mary Harper was a Drake family domestic servant.) A countywide recordation counted 27 individuals buried within or just outside of the cemetery walls (Henderson County Genealogical and Historical Society 1995:302, 502). FindAGrave.com adds two post-1995

burials, Clyde Nelon (1916-1998) and the most recent, Mary Louise Y. Seagle (1918-2006). It does not, however, include Winnie M. Drake whose burial is indeed not memorialized by any marker in the cemetery. Following is the list of burials from the countywide cemetery recordation publication of 1995. The two individuals in the third column were included in the survey addendum (Figure 44).

♦ Seagle Cemetery			
From I-26, take 64 East approximately one mile, turn left at the Saint Mary's Chapel sign. At top of hill turn right. Cemetery is approximately fifteen miles from Highway 64 East.			
List compiled by Elsie Goepfert and Marie Byers.			
Beginning at the southeast corner			
Row 1	Birth	Death	
Clara Ruth Seagle w/o R.V. Shupe	8 July 1908	1 May 1942	
Rev. John C. Seagle	3 Nov 1871	23 Mar 1947	
Mary Louise Cody	25 June 1907	12 Dec 1952	
Annie Belle Knight w/o George P. Seagles	21 Oct 1904	21 Feb 1936	
Row 2			
Nellie Seagle Smith	8 Aug 1874	13 Aug 1958	
Dr. Richard L. Seagle	19 Feb 1876	15 Nov 1927	
Philip C. Seagle	28 June 1833	5 Apr 1902	
Mary S. Seagle	1 Nov 1837	16 Nov 1914	
Nellie Lee Cody	1 Nov 1910	31 July 1911	
Infant s/o Rev. C.R. and B.C. Cody	16 Aug 1914	16 Aug 1914	
Rev. C. R. Cody	12 May 1877	9 May 1939	
Kate Seagle Cody	2 Mar 1880	11 Dec 1966	
Row 3			
Aunt Mary Harper	27 Jan 1838	11 Nov 1932	
Nathan M. Drake	8 May 1798	25 Oct 1876	
Eleanor (Osborne) Drake	8 May 1798	5 Apr 1858	
H. L. (Heskiah Leander) Drake	5 Dec 1826	13 Nov 1857	
Winnie M. Drake	7 May 1830	4 Oct 1858	
Nathan N. Drake	24 Dec 1840	6 Oct 1858	
Row 4			
Major Marshall Jones	1845	1909	
(His father and brother were Episcopal Ministers)			
Thomas D. Seagle	27 Dec 1872	31 July 1928	
Fannie Susan Elliott w/o Thomas D. Seagle	20 Sept 1879	15 Nov 1968	
Mary Kathryn Seagle, R.N. w/o Clyde Nelon	1 Apr 1914	3 June 1987	
Outside of the rock wall, beginning at the northwest corner			
Charles I. Wiley	4 July 1866	1 May 1953	
Amy Tongue Wiley	31 July 1874	28 Sept 1970	
Mary Kent Seagle Tucker	19 May 1911	23 June 1972	
♦ Seagle Family Cemetery			
George Phillip Seagle	17 Jul 1905	17 Feb 1993	
S Sgt U.S.Army			
Charles N. Dowsett	22 Jul 1919		
9 Apr 1993			
SFC U.S.Navy, U.S.Army			

Figure 44. Drake-Seagle Cemetery burials as of 1995 (source: Henderson County Genealogical and Historical Society 1995:302, 502)

The cemetery survey addendum also notes that a “Seagle Slave Cemetery” is located northwest of a large modern house that stands on a separate tract west of the cemetery. It describes it as follows “There are two rows of graves. Four graves marked with fieldstones in each row” (Henderson County Genealogical and Historical Society 1995:502). This cemetery was not located during the field survey. The cemetery likely remains in place, but its exact location is not clear (see video of 2014 tour of St. Mary’s Chapel and Cemetery led by local historian Jennifer Jones Giles at <https://www.youtube.com/watch?v=ubFOV8NxvSc>). A 2005 photograph of one of the fieldstones was located during research, however (Figure 45).



Figure 45. Seagle Slave Cemetery fieldstone marker, 2005 (photographer: Michael Justus)

The story with which the fieldstone photograph is associated states (Hendersonville *Times-News*, May 6, 2005; see also HendersonHeritage.com:Seagle/Drake Slave Cemetery entry):

It is not known for certain who owned the slaves buried in this cemetery off U.S. 64 East on St. Mary's Chapel Road. There are no names or dates marking the burials. The fieldstone graves are scattered along the side of a steep, wooded hill on private property owned by the Alexander Nelon Trust. The property was owned by the Seagle family, who bought it sometime after the Civil War. . . . The clusters of fieldstones are separated and scattered over a wide area on the side of the hill. Downed trees, brush and briars make walking difficult along the hill. No one knows how many graves could be in the area.

Rev. John C. Seagle House

The construction of the early Drake and Seagle family house (or houses) is not known. In the twentieth century Thomas D. Seagle (1872-1928) lived on the property which, according to the 1920 federal census, he farmed. He died in 1928 and is buried in the family cemetery. In 1939 Rev. John C. Seagle (1871-1947), Thomas' brother, retired as rector of St. John's Episcopal Church in Charleston, South Carolina. The following year he returned to Henderson County and began to build St. Mary's Chapel, which stands to the south. In all likelihood he commenced construction of his new house on the home place (Ruscin 2014:89) around 1940 along with the church. The same local gray granite as the church forms the house and tax records place its construction date at 1941. As noted at the above account of St. Mary's Chapel, Reverend Seagle did not live to see the church completed. He died in 1947 and is buried in the center of the cemetery's first row, closest to the chapel.

The house remained in family hands following John Seagle's death. In 2002 Seagle family trustees leased the chapel to St. James Episcopal Church of Hendersonville, which operates it as a mission to Spanish speakers under the name *La Capilla de Santa Maria* (HendersonHeritage.com: St. Mary's Chapel entry). The church continues to be owned by the family, but the house is now held outright by the Episcopal Diocese of Western North Carolina (Cisneros 2017). No longer a residence, it is used by the *Santa Maria* congregation for childcare during services and other gatherings.

National Register of Historic Places Evaluation

St. Mary's Chapel is a finely built, granite-block building with pointed-arch windows, stone buttresses, and a tall, crenelated tower which retains a high degree of design, workmanship, and material integrity. Its interior finish remains as intact as its exterior, retaining exposed stone walls and wooden roof trusses. The building stands in its original location and is unaltered since its ca. 1954 completion, other than the early addition of a stone vestibule.

Its associated nineteenth and twentieth-century Drake-Seagle Cemetery is also intact. The cemetery's most notable decorative feature is the imposing granite wall enframing it, which is contemporary with the church building. Although altered on its interior, the exterior of the Rev. John C. Seagle House remains relatively unaltered. The preservation of both the House and Cemetery contributes to the church's high levels of integrity, association, and feeling. Both resources assist in capturing the original setting of the church at the time of its construction.

The NC HPO files include about 31 individually recorded churches in Henderson County, about 28 of which still stand. Two are NRHP-eligible, Calvary Episcopal Church in Fletcher (HN-1059; DOE 1995) and First United Methodist Church in Hendersonville (HN-1289; DOE 2003) (Figure 46).

Calvary has lost its rectory, but its large, brick, Gothic-Revival-style building (built in 1938 following the design of its 1859 predecessor, which had burned) remains intact. First United Methodist is a monumental Neoclassical Revival-style church, also of brick, erected in 1925.



Figure 46. At left, Calvary Episcopal Church, ca. 1959 (source: Jenkins, *Historical Sketch of Calvary Episcopal Church*); at right, First United Methodist Church, ca. 1925 (source: Hendersonville *Times News*, March 1993)

St. Paul's Episcopal Church (HN-1259) near Edneyville was added to the North Carolina Study List of potentially NRHP-eligible resources in 2017 (Figure 47). Built in 1910 of stone with a form similar to St. Mary's, it may have been part of the design inspiration for the chapel. (Rev. John Seagle was certainly familiar with St. Paul's, as the two churches stand only seven miles apart.)



Figure 47. St. Paul's Episcopal Church, ca. 1910 (source: <http://www.stpaulsepiscopalchurchwnc.org/about/our-history/>)

Three other masonry churches roughly similar in form and/or style to St. Mary's were identified in the county: Saint John in the Wilderness Church (HN-0013) in Flat Rock, St. James Episcopal Church (HN-0130) in Hendersonville, and the Church of the Transfiguration (HN-1116) in Bat Cave (Figure 48 and Figure 49). All are Episcopalian; none have had their individual NRHP eligibility assessed. Saint John in the Wilderness is a brick church with a tower and some Gothic features, including buttresses and a pointed-arch gable, that effectively dates from ca. 1852. It is an important contributing element to the Flat Rock Historic District (Griffith 2014b). St. James is an imposing, Gothic Revival-style, brick church consecrated in 1863 that also includes buttresses, a side tower, and a sweeping gable.

The Church of the Transfiguration (HN-1116) in Bat Cave is a stone church with a crenelated tower that was built in 1947, contemporaneously with St. Mary's.



Figure 48. Saint John in the Wilderness, 1938, at left (photographer: Frances Benjamin Johnston; source: <https://www.loc.gov/item/csas200802816/>); St. James Episcopal Church, no date, at right (source: http://dc.lib.unc.edu/cdm/singleitem/collection/nc_post/id/10473/rec/201)



Figure 49. Church of the Transfiguration, no date (source: http://dc.lib.unc.edu/cdm/singleitem/collection/nc_post/id/10511/rec/54)

St. Mary's Chapel, and its associated resources, are recommended as eligible for NRHP listing under Criterion C (and Criteria Considerations A (church and house) and C (contributing cemetery)) as embodying the distinctive characteristics of twentieth-century, ecclesiastical, Gothic Revival-style architecture. The Chapel is believed to be equal to that of the previously discussed Episcopal churches in Henderson County. Its period of significance is recommended as ca. 1940 to ca. 1954, the span of years during which it was constructed.

The property has no known association with historic events and is unlikely to yield important historical information. Neither Rev. John Seagle nor Rev. Nathan Seagle, the church builders, are believed to met the high standard of persons significant in our past. Further, their association with the building was tangential to their lives. John Seagle only returned to the property a few years before his death and never saw the building completed. Nathan Seagle completed his brother's work, but left home in his youth and spent almost his entire working career in New York City. Accordingly, the property is not recommended as NRHP-eligible under Criteria A, D, or B.

ST. MARY'S CHAPEL		
Element of Integrity	Level of Integrity	Assessment
Location	High	Stands on place where constructed.
Design	High	Little altered Gothic Revival-style church retaining intact arched windows, crenelated tower, buttresses, exposed interior trusses, and stonework. Contemporary cemetery walls also intact.
Setting	High	Placed sufficiently distant and screened by woods from nearby later houses and Chimney Rock Road (US 64).
Materials	High	Fine stonework, windows, doors, and other features intact.
Workmanship	High	Retention of design and materials includes retention of workmanship.
Feeling	High	Retains intact physical elements of integrity along with location and an intact setting. Presence of cemetery bolsters integrity of feeling.
Association	High	Retains intact physical elements of integrity along with location and an intact setting. Presence of cemetery bolsters integrity of association.

Proposed National Register of Historic Places Boundary

The recommended NRHP boundary for St. Mary’s Chapel encompasses four parcels that total 4.2 acres: the 1.56-acre parcel on which the chapel and cemetery stand (#9946360); the 0.92-acre Rev. John C. Seagle House parcel (#9966684); and two wooded parcels that connect the chapel and cemetery with the house (#9966683 of 1.07 acres and #9966682 of 0.65 acres) (Figure 50 and Figure 51). The chapel/cemetery parcel is owned by St. Mary’s Chapel. The other three parcels are owned by the Episcopal Diocese of Western North Carolina (Figure 51). The parcels include the contributing church, cemetery, and house, as well as a noncontributing modern church office and shed erected just northeast of the church within the past 20 years. All four parcels are historically associated with St. Mary’s Chapel and provide an appropriate setting for the chapel, cemetery, and house.



Figure 50. Annotated tax map showing current ownership of property once associated with Drake-Seagle families at left; orthogonal tax map showing resources on adjacent parcels at right

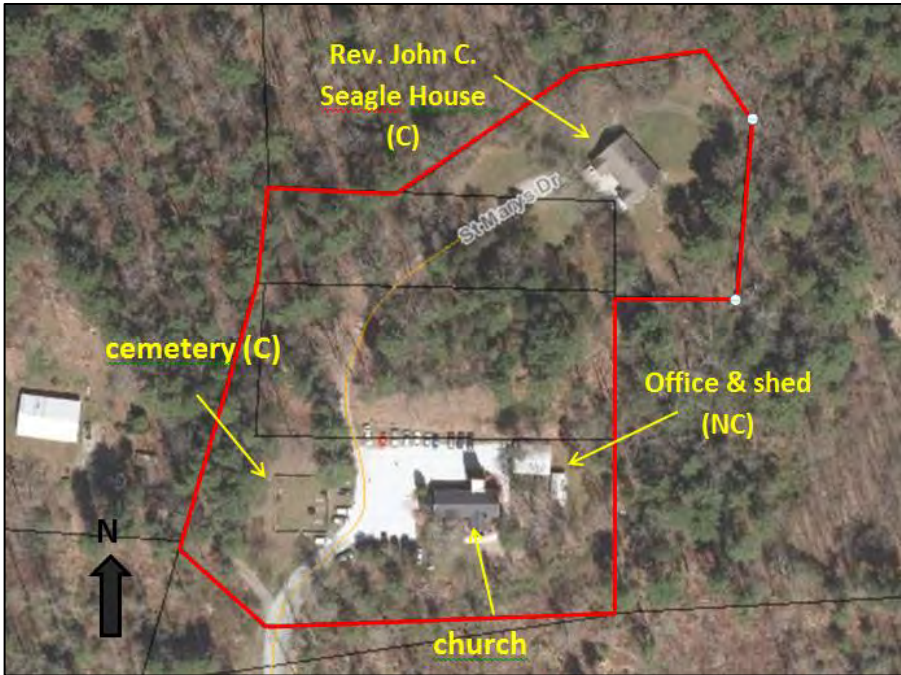


Figure 51. Proposed NRHP boundary with contributing (C)/noncontributing (NC) resources

(#41 and #42) Robert and Emily Johnson Log House



Robert and Emily Johnson Log House
HN-1968 [AECOM survey ## 41 and 42]
511-515 Brookside Camp Road, Mountain Home vicinity
Log house: REID/Parcel # 10000533 and PIN # 9661403667; Frame cabin: REID/Parcel # 10000532 and PIN # 9661402653
Log house, ca.1943; Frame cabin, ca. 1950
Recommended eligible for NRHP listing under Criterion C

Description

The two parcels that comprise the property hold two dwellings—a ca. 1943 Rustic-Revival-style log house and a ca. 1950 frame cabin. Located less than two-tenths of a mile north of the I-26/Brookside Camp Road, the property was not divided into two lots until 2016 and remains under the same ownership. The adjacent dwellings, which angle toward each other, stand at the end of a single gravel drive in a clearing on the wooded land. Late twentieth and early twentieth-century houses, mobile homes, and other buildings surround the rural setting (Figure 52 and Figure 53).



Figure 52. Johnson houses with Brookside Camp Road to east (right)



Figure 53. Frame cabin and log house at end of drive, at left; houses circled in red, within late twentieth/early twentieth-first-century setting, at right, with I-26 to south (bottom)

Robert and Emily Johnson Log House [contributing building]

The one-story-and-loft Robert and Emily Johnson Log House is built of saddle-notched, pole-log walls heavily chinked with concrete that rest on a continuous stone foundation (Figure 54 through Figure 58). It is two piles deep and extended on the north side by a low-sloped, frame, shed ell. The roofs of the original gable-end block and the shed are clad in standing-seam metal. A dropped-roof porch supported by four square posts spans the house’s three-bay-wide front elevation. Its shed roof is also standing-seam metal. Beadboards form its ceiling. An exterior-end stone chimney is offset at the house’s west gable end. A small, concrete-block flue stacks rises from the roof ridge. Most of the house’s window bays, which are doubled at the front, contain original six-over-six, double-hung sash.



Figure 54. South front elevation of log house



Figure 55. South front and east side elevations of log house; frame cabin visible at far left



Figure 56. East side and north rear elevations of log house



Figure 57. North rear and west side elevations of log house



Figure 58. West side and south front elevation of log house; note stone chimney and foundation, thick concrete chinking, and saddle-notching extending well beyond wall planes

The interior layout of the house is two rooms deep by two rooms wide with a centrally located stair leading up to the loft (Figure 59). The principal entry, accessed from the front porch, leads directly into the living room, which extends to the left (west). A boxed straight run of stairs up to the loft rises opposite the entry; to its right (east) a doorway opens into the dining room. The living room's west wall retains the original stone fireplace, which has been filled in with a modern gas insert. The mantel appears to be a later addition. A room utilized as an office—likely originally a bedroom—is located behind the living room. The kitchen backs up the dining room. The rear shed mudroom opens off of the kitchen. The house's log walls and concrete chinking are visible along the perimeter of each downstairs room, with vertical paneling sheathing the interior partition walls. Up the straight run of stairs are two bedrooms separated by a small hallway. Vertical paneling covers their tall knee walls and ceilings. The house's doorway and window trim is plain with no ornamentation. Exposed rafters and floorboards are visible on the living room and dining room ceilings, but are elsewhere covered.



Figure 59. Log house living room, at left, and dining room with kitchen to rear, at right

Robert and Emily Johnson Frame Cabin [contributing building]

Robert and Emily Johnson built this gable-end, frame, Rustic-Revival-style cabin 40 feet southwest of their log house around 1950. Smaller than its neighbor, the house is one-story tall and contains two rooms, with an additional shed room at its rear (northwest) elevation (Figure 60 through Figure 63). Board-and-batten siding covers the walls of the main block and shed, both of which are covered by a standing-seam metal roof. A concrete slab supports the house. A wooden deck serves the three-bay wide front (southeast) elevation. It is extended to the southwest side by a brick patio. Both appear to be later additions. A wooden overhang supported by oversized triangular kneebraces shields the front entry. Each elevation is marked by a pair of window bays set in plain surrounds; the sash does not appear to be original.



Figure 60. Southeast front elevation of frame cabin



Figure 61. Southwest side and southeast front elevations of frame cabin



Figure 62. Northwest rear and southwest side elevations of frame cabin



Figure 63. Northeast side and northwest side elevations of frame cabin

The house's inside plan is simple in design and finish (Figure 64). The entry leads directly into a large family room that extends down the northeast side and connects at a 90-degree angle with the kitchen. A single bedroom, at the southeast corner, sits between the legs of this L-shaped room. The interior features little ornamentation save oversized wooden door and window surrounds and built in wall shelving in the living room, all of which appear to be original. Modern materials cover the ceiling.



Figure 64. Northeast windows of frame house's living room, at left; looking south into bedroom from living room, at right

History

In 1924 George O. Johnson (1872-1946) and his wife, Susan "Susie" Loton Odom Johnson (1877-1965), transferred a 1.75-acre tract—adjacent to the land upon which these two houses stand—to son Robert B. Johnson (1900-1974) and his wife, Marie Emily Anderson Johnson (1898-1969) (Deed Book 129/Page 246). The 1940 federal census records the extended Johnson family living side-by-side. George and Susie farmed one property. The next recorded property was home to Robert (a farmer) and Emily and their three children, John, Mary Sue, and Betty. Recorded next were Sam Fite, his wife Sara (or Sallie) Eurana Johnson Fite—another of George and Susie's children—and one child. In a deed dated 1953, Susie, Eurana and her husband, and a third Johnson child, Marie, transferred the current property, then encompassing 2.88 acres, to Robert and Emily (Deed Book 324/Page 189).

Although Robert and Emily did not officially take ownership of the property until 1953, they had already built the log house upon it and the frame cabin as well. Their daughter, Mary Sue ("Susie"), recalled in the early 2010s that her father built the house from logs cut from trees on the property. At the time of construction he (and presumably the family) lived in a small wooden house, no longer standing, on the rear of the property. According to Susie, the log house went up when she was about 10 years old or ca.1943 (Roland 2017). The frame cabin, according to tax records, dates from ca.1950, which also predates the deed date.

In 1975 Betty Johnson Shevick and her husband, Jerry J. Shevick, Jr., deeded their half-interest in the 2.8-acre parcel to her sister, Susie, and husband Michael Edell (Deed Book 539/Page 231 (1975) and Deed Book 612/Page 989 (1982) (corrected deed)). Six years later Susie—identified as Sue Johnson Linnell Edell (single)—sold the parcel to Brett W. and Kecia B. Bailey (Deed Book 974/Page 586), who sold it Robert Roland and his wife, Wan-hang Gloria Han, in 2011 (Deed Book 1458/Page 298).

Robert Roland, now the property's sole owner, divided it into two parcels in 2016 (Deed Book 1685/Page 264; Plat Book 2016/Page 10338). The log house stands on Lot 1 which, due to the extension of the Brookside Camp Road right-of-way that occurred with the division, now encompasses 0.9 acres. The frame cabin stands on Lot 2 which, due to right-of-way changes, contains 1.52 acres. The current extent of the two-parcel property is therefore 2.42 acres.

National Register of Historic Places Evaluation

The Robert and Emily Johnson Log House has been little altered since its construction during the early/mid-twentieth century and maintains a high level of integrity with regard to its material, design, and workmanship. Outside it retains its pole-log walls, saddle notching that extends beyond the wall plane, concrete chinking, and stone chimney. Its interior retains exposed log walls, a stone firebox, wooden partition walls, and exposed floor joists at its front-room ceilings. The log house stands on its original construction site and the retention of trees on its parcel, in addition to the presence of the smaller frame cabin, contributes to a high level of integrity with regard to the building's setting and feeling. All of these elements result in the building's retention of a high integrity level of association.

The Johnsons' log house fits within two strains of Rustic-Revival-style architecture popular in the United States during the early and mid-twentieth-century of architecture: one utilized by the National Park Service (Tweed, Soulliere, and Law 1977), the other promoted in popular literature (see for example, *Popular Science Monthly* 1934 and Hunt 1939). Plain and small, the house is more closely connected to those modest log dwellings pictured in the do-it-yourself literature of the period than the often-grand Park Service buildings.

Some similar houses have been identified in Henderson County and examples abound throughout the state. Stewart Gray identified numerous houses and community huts erected in Mecklenburg County in the 1930s that largely mirror the Johnsons' log dwelling: small, gable-roofed buildings with modestly sized pole logs—saddle-notched and extending out pasts the planes of their walls—held together by heavy concrete chinking (Gray 2005) (Figure 65).



Figure 65. Mt. Zion Hut, Cornelius, 1932, at left; Dr. Hood Cabin, Davidson, ca. 1935, at right (source: Gray, “Log Building Construction in Mecklenburg County”)

Even closer to Henderson County are the multiple log resources of Foster's Log Cabin Court (Log Cabin Motor Court) in Weaverville (BN-1406), which retains similar pole-log, overhanging saddle-notched, concrete-chinked cabins built ca. 1931 (Figure 66). This property was NRHP-listed in 2017 under Criterion A for its association with tourism and Criterion C for its intact Rustic-Revival-style architecture (Griffith 2017).



Figure 66. Foster's Log Cabin Court, ca. 1931 (photographer: Clay Griffith, 2017)

Two Henderson County houses that are larger and a bit finer than the Johnsons' house were recently listed in the NRHP under Criterion C as significant examples of the Rustic-Revival style (Figure 67). The ca. 1924 Dillard and Georgia Sewell House (HN-1262) near Penrose is constructed of stone rather than wood (NRHP 2017) (Griffith 2017). The Singeltary-Reese-Robinson House (HN-0240), built in Laurel Park in 1912 (NRHP 2014), is almost identical in materials and construction, but is a full two stories tall with a two-story ell (Argintar 2009).



Figure 67. David and Georgia Sewell House (photographer: Clay Griffith), at left; Singeltary-Reese-Robinson House (photographer: Sybil Argintar), at right

Argintar's summary statement of significance for the Singeltary-Reese-Robinson House could apply to the Robert and Emily Johnson Log House (but for the earlier date and reference to resort communities):

An early example of the Rustic Revival style, the notched-log seasonal residence exhibits the distinctive characteristics of the style, and is of local significance. The Rustic Revival style, a style seen in mountain resort communities in the western part of the state, saw its height of popularity beginning in the late 1910s and continuing through the 1920s and early 1930s. The house incorporates many of the design elements of the style including round logs chinked with concrete, the stone foundation, chimney and mantelpiece, and simple unadorned window surrounds (Argintar 2009).

Closer in size and finish was the log Faith Tabernacle that once stood in Hendersonville (Figure 68). Rev. Sherman T. Patterson, a retired Salvation Army preacher, built it in 1937 of “notched white pine logs” with the help of neighbors. It was demolished prior to 1980 (Ruscin 2013:198-200). An even more apropos comparative building, which still stands, is the ca. 1935-1940 Thomas and Marie Case Log House within the APE, which is assessed at a separate following entry (Figure 69). Its concrete-chinked, saddle-notched, pole-log construction is nearly identical to that of the Robert and Emily Johnson Log House. It is also a modestly sized and finished dwelling.



Figure 68. Faith Tabernacle (source: Ruscin, *Hidden History of Henderson County*)



Figure 69. Thomas and Marie Case Log House, ca.1935-1940: west front and south side elevations, at left; north side and east rear elevations, at right

The little-altered Robert and Emily Johnson Log House is believed to be eligible for NRHP listing under Criterion C as embodying the distinctive characteristics of early/mid-twentieth-century, Rustic-Revival-style architecture that sprang from the modest, straightforward currents of the style. Its period of significance is recommended as ca. 1943 to ca. 1950, the span of years during which the log house and frame cabin were constructed. The cabin adjacent to the log house contributes to the property. Although its sash and interior have been altered, the cabin also retains its modest Rustic-Revival style, expressed in board-and-batten siding with a triangular-kneebrace-supported overhang at its entry.

The property has no known association with specific historic events or with events that have made a significant contribution to broad patterns of history. It is therefore not recommended as NRHP-eligible under Criterion A. The Corn and Rhodes family members associated with it were not persons significant in our past and it is accordingly not recommended as NRHP-eligible under Criterion B. Its standing resources are also not recommended as NRHP-eligible under Criterion D, as they are unlikely to yield important historical information that could not be derived from other sources.

ROBERT AND EMILY JOHNSON LOG HOUSE		
Element of Integrity	Level of Integrity	Assessment
Location	High	Stands on place where constructed.
Design	High	Modest Rustic-Revival-style house that retains central features— saddle-notch pole logs, concrete chinking, stone chimney, exposed log walls, floor joists, and partition walls—intact.
Setting	Medium to High	Placed sufficiently distant and screened by woods from nearby later houses and I-26.
Materials	High	Logs inside and out, concrete chinking, stone chimney, interior partition walls and exposed floor joists at front rooms are intact.
Workmanship	High	Retention of design and materials includes retention of workmanship.
Feeling	High	Retains intact physical elements of integrity along with location and a largely intact setting. Presence of board-and-batten-clad cabin bolsters integrity of feeling.
Association	High	Retains intact physical elements of integrity along with location and an intact setting.

Proposed National Register of Historic Places Boundary

The recommended NRHP boundary for the Robert and Emily Johnson Log House and its contributing frame cabin are the two parcels upon which the buildings stand: #10000533, the log house parcel; and #10000532, the frame cabin parcel (Figure 70). These are historically associated with the resources and were a single parcel until divided in 2016. Both are owned by the same individual, who lives in the log house and rents out the frame house. The inclusion of the treeline that stands between the southeastern parcel line and Brookside Camp Road in the NCDOT right-of-way was considered for inclusion. It was determined, however, that the significant setback of the two houses from the road, in addition to numerous mature trees found within the parcel boundaries, provided an appropriate wooded setting that adequately separates the resources from the modern development surrounding the property.

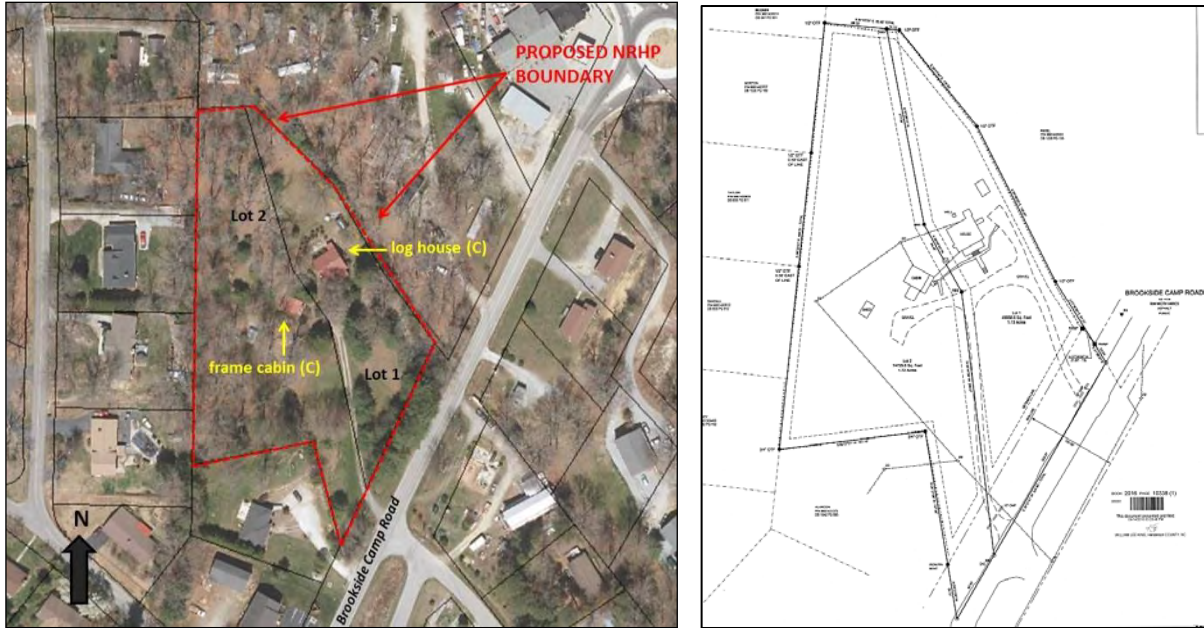



Figure 70. Proposed NRHP boundary map with surrounding development, at left; 2016 map depicting division of single parcel into two, at right (source: Henderson County)

(#50) Hyder Dairy Farm

	Hyder Dairy Farm
	HN-1906 [AECOM survey # 50]
	679 Hyder Farm Road, Hendersonville vicinity
	REID/Parcel # 9928861 PIN # 9660841271
	Late 19 th to mid-20 th century
Determined eligible for NRHP listing under Criteria A and C in 2014	

Description, History, and NRHP eligibility summary

Following a 2014 intensive-level survey associated with a project to improve I-26 in Henderson and Buncombe counties (TIP No. I-4400/I-4700), the Hyder Dairy Farm was determined eligible for NRHP listing (MdM Historical Consultants 2014) (Figure 71). The Draft Environmental Impact Statement/Draft Section 4(f) Evaluation summarizes the description, history, and eligibility of the property (U.S. Department of Transportation 2016):

Located on 60.7 acres on the east and west sides of I-26, the Hyder Dairy Farm likely dates to the late nineteenth century when the one-story, single-pen log house was built. The parcel is mostly on the west side of I-26, although a portion containing no historic resources is on the east side of the interstate. The acreage on the east side of I-26 was historically part of the dairy operation and was isolated from the rest of the farm by the construction of the interstate. Outbuildings on the farm include a metal silo, a large dairy barn and a shed. A large pond with a dam is positioned at the center of the parcel south of the interstate. In the 1950s, a milking parlor and a springhouse were added to the complex. A circa 1920 crib was recently moved to the farm. A circa 2000 manufactured home is southwest of the house. The Hyder Dairy Farm was determined eligible for the National Register under Criterion A in the area of agriculture as an example of a small dairy farm in Henderson County. The barn, milking parlor, silo, and farm landscape contribute to the property’s agricultural significance. The Hyder Dairy Farm is also eligible under Criterion C for architecture. The collection of outbuildings coupled with the survival of the single-pen log house represents the types and forms of architecture found on small farms of the period.

The twenty-two acre parcel on the east side of the interstate is wooded and contains no buildings or structures. On the west side, the parcel is largely cleared of trees except at its southeast corner. Much of the land remains pasture for grazing cattle.



Figure 71. Hyder Dairy Farm log house and property, looking west

National Register of Historic Places Evaluation

No observable changes or alterations have been made to the Hyder Dairy Farm since its listing on the NRHP in 2014. It retains its integrity and continues to merit NRHP listing.

NRHP-Eligible Boundaries

The NRHP-eligible boundary of the Hyder Dairy Farm includes all its bifurcated current parcel, along with the section of I-26 and its right-of-way that divides the tract (Figure 72).



Figure 72. Hyder Dairy Farm NRHP-eligible boundary (source: <http://gis.ncdcr.gov/hpoweb/>)

(#51) Sholtz-Cantrell Estate



Sholtz-Cantrell Estate
HN-1906 [AECOM survey # 51]
37 Hyder Farm Road, Hendersonville vicinity
REID/Parcel ## 9957964 and 9957963 PIN ## 9660818633 and 9660902975
1920s-1950s
Determined eligible for NRHP listing under Criteria A and C in 1995 and reassessed in 2014

Description, History, and NRHP eligibility summary

In 1995 the Sholtz-Cantrell Estate was determined eligible for NRHP listing (Figure 73). A 2014 intensive-level survey associated with a project to improve I-26 in Henderson and Buncombe counties (TIP No. I-4400/I-4700) re-addressed the Sholtz-Cantrell Estate (Mdm Historical Consultants 2014; see also Brown 1995). It described it in part as follows:

The Sholtz-Cantrell Estate contains eleven contributing resources, five noncontributing resources, and one contributing site (the estate grounds). Entry to the property is from the northwest side of Clear Creek Road down a winding treelined entry lane that terminates in a loop framed by tall trees. The main house occupies the loop and a long row of boxwoods south of the loop. A pasture spreads out in the area toward the southern boundary. Forestland and open pasture characterize the rest of the property.

Farm buildings include a large, contributing gambrel-roofed, board-and-batten horse barn built in the 1930s that stands at the edge of the woods to the west of the domestic complex. Two frame hog pens, both contributing, and a contributing metal silo stand behind the barn. A concrete silo and a gable-roofed, frame cattle barn, both noncontributing, are northwest of the horse barn.



Figure 73. Sholtz-Cantrell Estate main house, south front and east side elevations

The 2014 report included the following history:

Floridians David and Alice “Allie” M. Sholtz (d. 1955) established the Sholtz-Cantrell Estate around 1930 as a summer retreat. Over time, the family expanded the property to include more than 200 acres and numerous buildings.

The 2014 report also included the following summary of NRHP eligibility:

The Sholtz-Cantrell Estate was determined eligible for the National Register of Historic Places under Criterion A as evidence of the tourism and real estate boom that occurred in and around Hendersonville in the 1920s and under Criterion C for its intact circa 1930 Colonial Revival-style dwelling and as an example of rural retreats established during this period. The estate remains eligible under these criteria. The Sholtz-Cantrell Estate does not meet Criterion B despite its association with David Sholtz. The Henderson County property was not their principal residence and is not the property most closely associated with David Sholtz’s productive life. The property is recommended not eligible for the National Register under Criterion D. (Archaeological potential under Criterion D is not addressed in this report).

The NRHP-eligible boundary of the Sholtz-Cantrell Estate was re-assessed in the 2014 report, which includes this boundary description and justification:

The boundaries for the Sholtz-Cantrell Estate include 47.11 acres located southwest of Hyder Farm Road and northwest of Clear Creek Road. The property is made up of two parcels, both owned by Heather Groover Fernandez, granddaughter of Bert and Nelle Cantrell. The eligible acreage is approximately thirteen fewer acres than contained in the boundary that was determined eligible in 1995. This approximately thirteen acres was sold in 2011 and contains no historic resources [Henderson County Deed Book 1465/Page 333].

The east boundary for the Sholtz-Cantrell Estate follows the west side of the right-of-way of Hyder Farm Road and does not extend to Interstate 26.

National Register of Historic Places Evaluation

No observable changes or alterations have been made to the Hyder Dairy Farm since its last assessment in 2014, when its boundary was reduced in size. It retains its integrity and continues to merit NRHP listing.


NRHP-Eligible Boundaries

The image of the NRHP-eligible boundary of the Sholtz-Cantrell Estate at the NC HPO GIS website reflects the reduced boundary of the property described in the 2014 report (Figure 74). It encompasses the two parcels totalling 47.11 acres and excludes the 13 acres sold in 2011.



Figure 74. Sholtz-Cantrell Estate NRHP-eligible boundary (source: <http://gis.ncdcr.gov/hpoweb/>)

(#52) Thomas and Marie Case Log House

	Thomas and Marie Case Log House
	HN-1969 [AECOM survey # 52]
	239 Balfour Road, Hendersonville vicinity
	REID/Parcel # 9905235
	PIN # 9660803884
	ca.1935-1940
Recommended not eligible for NRHP listing	

Description

The Thomas and Marie Case Log House is located just east of and faces Balfour Road. Two small frame sheds stand to its rear (east) (Figure 75). One, topped by a gambrel roof, sits immediately behind it. The other, which has a gabled roof, abuts the gravel entry drive that runs past the house’s north side. The house has two stone retaining walls. The one near the edge of the property line on Balfour Road wraps around to the east along the entry drive. The other runs behind the house to the gambrel-roofed shed’s stone foundation and continues in a curve to the south.

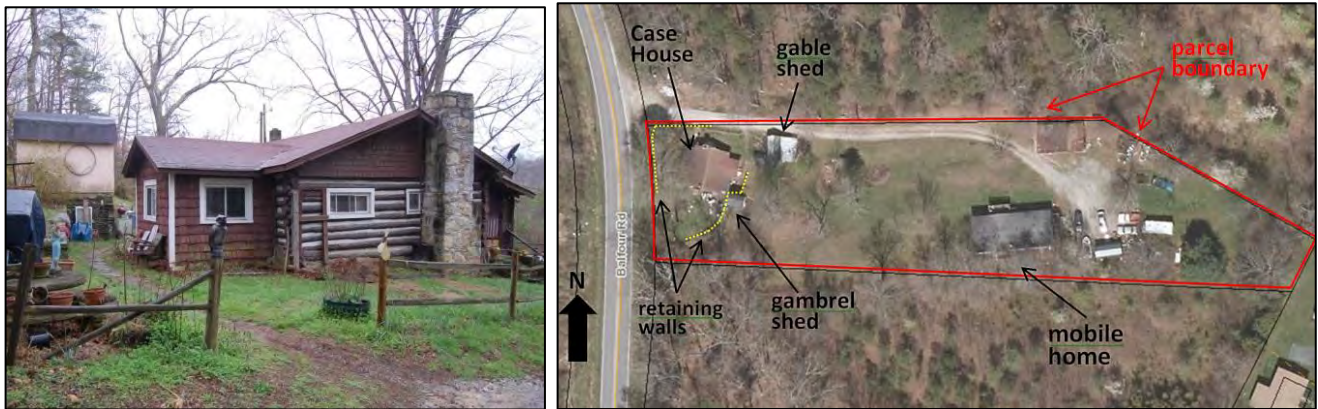


Figure 75. Looking north from entry drive at house and gambrel-roofed shed, left; resource locator map, right

Thomas and Marie Case Log House

The Thomas and Marie Case Log House is one-story tall, two rooms deep, and three bays wide (Figure 76 through Figure 80). A Rustic-Revival-style dwelling, it is built of pole logs joined by saddle notches that extend beyond its wall planes. Thick concrete chinking fills the gaps between the logs. A low-sloped, gable-end, asphalt-shingled roof tops the house. Its gable peaks, which do not have windows, are filled with wooden shingles. Wooden shingles also cover the gabled ell at the house’s rear (east), which is original to the main block or an early addition. Stone piers, supplemented with later stone and brick infill, support the log block. The ell foundation is hidden.

A shed-roofed porch with exposed rafter ends extends across the house's front (west) elevation. It is supported by a stone foundation. The porch's rafters are imprecisely connected by plain scarf joints to the front elevation's exposed rafter tails, suggesting it was a later addition (Figure 77). Its screens were added after 2005 according to tax records. Behind the porch screens, hidden from outside view, is the house's principal entry, flanked by a window to either side. The surrounds of these three bays, as are those of the rest of the house, are plain applied boards. All of the house's sash appears to have been replaced. On the north side of the porch, large stone stairs that appear to be original lead down to a walkway that extends to the drive.

A large, exterior-end, stone chimney rises off-center along the north gable end. A smaller and later CMU chimney abuts the south gable. Adjacent (north) of the rear ell is a room or porch covered by a shed roof that appears, like the front porch, to have been later added. The interior of the house was not accessible.



Figure 76. West front and south side elevations of house; note retaining wall along road at left foreground



Figure 77. Front elevation of house; note scarf joints at rafters



Figure 78. North side and west front elevations of house; note retaining wall along drive



Figure 79. North side elevation of house with ell extending to east rear; gambrel-roofed shed on tall stone foundation at far left



Figure 80. South side and east rear elevations of house; gambrel-roofed shed at right

Gambrel-roofed shed (noncontributing)

Located to the southwest side of the log house, this shed is rectangular in plan and topped by a gambrel roof clad in roofing paper (Figure 81). The shed is covered with plywood and features one door and one boarded-up window on the east, uphill elevation. Facing the house, within a tall stone foundation that connects to the retaining wall, is a wooden door. The stone and finish of the foundation match that of the house chimney, indicating that the foundation is original. The shed, however, has been replaced or is unrecognizably altered by later siding and roof.



Figure 81. West elevation of gambrel-roofed shed, at left; looking southeast at shed, at right

Gable-roofed shed (noncontributing)

Located to the southeast rear of the house, along the entry drive, is a second rectangular shed. Its exposed rafter ends suggest it may be contemporary with the house (Figure 82). It has been heavily altered, however. While the east elevation is German-sided, the other three are vinyl sided. The door in the east elevation and the six-over-six windows in the south elevation appear to have been salvaged from a house. The shed affixed to the east elevation, clad entirely in standing seam metal, appears to be a later addition.



Figure 82. At left, looking northeast at gable-roofed shed, with mobile home on tract in distance; at right, south elevation of shed

Retaining walls (contributing)

Along the front of property and part of the entry drive is a stone retaining wall that matches the house’s stone chimney (Figure 83, at left). It is likely contemporary with the dwelling. A second retaining wall extends behind the house up to the foundation of the gambrel-roofed shed (Figure 83, at right). It picks up again on the other side of the shed, where it is formed of upright slabs that hold back the slope to its rear (east). This wall also appears to be the house’s contemporary.



Figure 83. Retaining wall facing Balfour Road, at left; retaining wall behind house, at right

History

Various pieces of information indicate that Thomas Grady Case (1912-1989) built this house between 1935 and 1940. In 1935 Nannie Case Phillips and her husband, J.G. Phillips, deeded just over an acre of land to Case, who was Nannie Phillips’ son from her first marriage (deed Book 212/Page 291). Tax records assign the house a date of 1937. In 1940 Case and his wife, Anna Marie Rhodes Case (1912-1990), were living on the property with their two young sons, Harlow, who was four, and Billie, age two. Further, according to the census, in 1935 Case resided in a different Henderson County residence.

Additionally, the Cases both worked as weavers at a cotton mill. A small, plain, log house would have been appropriate to their limited income.

The Rustic-Revival-style appearance of the house also looks much that of other log buildings erected in the county in the late 1930s and early 1940s. For example, Rev. Sherman Paterson constructed his white-pine-log Faith Tabernacle in Henderson County in 1937 (Ruscin 2013:197-198). This building no longer stands. The similar and more intact Robert and Emily Johnson Log House, individually assessed above, dates from ca.1943 (Figure 84).



Figure 84. Faith Tabernacle, at left (source: Ruscin, *Glimpses of Henderson County*); Robert and Emily Johnson Log House, at right

Thomas Grady Case died in 1989. Anna Marie Case died the following year. Neither left a will. In 1991 their heirs and the administrator of their estates transferred title in the 1-1/16th-acre parcel the log house occupies to the Cases' son, Grady William "Billie" Case (1938-1996), and his wife, Jessie Anna Crane Case (1936-2006) (Deed Book 333/287). The property remains in the Case family.

National Register Eligibility Evaluation


Although it maintains its original building site and remains in a rural setting, since its construction in the late 1930s the Thomas and Marie Case House has undergone significant material alteration, which has resulted in an overall loss of integrity. While the building retains its straightforward saddle-notched, pole-log, concrete chinked construction, its windows are not intact, its front elevation is hidden behind a large, later-added porch—a prominent feature of the house—and a chimney was added to the building's northern gable end. These alterations have resulted in a loss of material, workmanship, and design integrity, and of related integrity of feeling and association. The house does not retain the same level of integrity as other examples of the Rustic-Revival-style in Henderson County and adjacent Buncombe County. It is not as finely finished or intact as the ca. 1924 Dillard and Georgia Sewell House (HN-1262) or the Singeltary-Reese-Robinson House (HN-0240). Both of these stand in Henderson County and were listed in the NRHP within the past five years. It is also not as intact as the more modest multiple log resources of Foster's Log Cabin Court (Log Cabin Motor Court) in Weaverville (BN-1406) in Buncombe County, which retains similar pole-log, overhanging saddle-notched, concrete-chinked cabins built ca. 1931. This resource was NRHP-listed earlier this year under Criterion A for its association with tourism and Criterion C for its intact Rustic-Revival-style

architecture. The Robert and Emily Johnson Log House also retains a higher degree of integrity. (See Figure 66 and Figure 67 and the discussion associated with the Johnson Log House, above.)

The property has no known association with specific historic events or with events that have made a significant contribution to broad patterns of history. Accordingly, it is not recommended as NRHP-eligible under Criterion A. The Case family members associated with it were not persons significant in out past and therefore it is not recommended as NRHP-eligible under Criterion B. Its standing resources are also not recommended as NRHP-eligible under Criterion D, as they are unlikely to yield important historical information that could not be derived from other sources.

THOMAS AND MARIE CASE LOG HOUSE		
Element of Integrity	Level of Integrity	Assessment
Location	High	Stands on place where constructed.
Design	Medium	Retains saddle-notched pole logs, concrete chinking, and stone chimney, but has lost original windows, has later-added chimney, and front elevation is hidden by large, later-added porch, which was tacked onto original principal rafter tails.
Setting	High	Remains in rural setting.
Materials	Medium to High	Retains saddle-notched pole logs, concrete chinking, and stone chimney, but has lost original windows.
Workmanship	Medium	Retains saddle-notched pole logs, concrete chinking, and stone chimney, but has lost original windows, has later-added chimney, and front elevation is hidden by large, later-added porch, which was tacked onto original principal rafter tails.
Feeling	Medium	Intact location and setting coupled with partially altered physical elements of integrity result in retention of a medium level of integrity of feeling.
Association	Medium	Intact location and setting coupled with partially altered design, materials, and workmanship result in retention of a medium level of integrity of association.

(#53) Berkeley Mills Ballpark

	Berkeley Mills Ballpark
	HN-1903 [AECOM survey # 53]
	69 Balfour Road, Hendersonville vicinity
	Approximately 33-acre northeast portion of: REID/Parcel # 1010646 PIN # 9660502582
	1949-1950
	NHRP listed, 2016

Description, History/Significance, and NRHP Boundary

The Berkeley Mills Ballpark NRHP nomination summarizes its appearance (Figure 85):

Berkeley Mills Ballpark is located at 69 Balfour Road in Hendersonville, Henderson County, North Carolina, approximately two miles north of the city center. The resource is a baseball sports complex consisting of a 1949 baseball field, 1949-50 grandstand, and other resources dating from the late twentieth century (some or all from the late 1970s) and early twenty-first century. The ballpark lies to the north of Berkeley Mills (now Kimberly Clark), the historic textile mill which had the ballpark constructed and which sponsored its home team, the Berkeley Spinners. The ballpark exists in a park-like setting, tucked against a wooded hill to the southwest scattered with picnic shelters and other amenities, and reached by a gravel road which passes through rolling lawn areas to connect to Balfour Road. A modern sign and wooden split rail fence is at the entrance to the property. The ball field’s level topography is the result of cut and fill that took earth from the grandstand area to create a level raised outfield. The area to the northwest and northeast of the ball field is wooded. A narrow dirt drive encircles the ball field (Pezzoni 2016).



Figure 85. Grandstand and field

The nomination's summary history/significance paragraph states:

Berkeley Mills Ballpark, located in Hendersonville, North Carolina, was established in 1949 as the home field of the Berkeley Spinners, the baseball team of the Berkeley Mills textile plant. Organized in 1948 at the height of baseball's post-war popularity, the Spinners played as part of the Western North Carolina Industrial League composed of teams drawn from the workforces of various regional industrial plants. The following year Berkeley Mills contracted with Dan Waddell and Company, a Hendersonville grading company, to construct a ball field in a parklike setting to the north of the mills' factory and mill village. Mill employees assisted with the construction of stands and associated structures. The wood and steel grandstand, built in 1949 and roofed in 1950, is accompanied by an intact ballfield. In 2008, the Kimberly Clark Corporation, successor to Berkeley Mills, donated the ballpark and surrounding park area to the City of Hendersonville. Berkeley Mills Ballpark meets National Register Criterion A in the Entertainment/Recreation area of significance at the local level of significance for its association with industrial league and community baseball in Hendersonville during the historic period. The period of significance extends from initial construction in 1949 through 1966 embracing the years the park served as the home field of the mill-supported Berkeley Spinners baseball team (1949-1961) and the early years of the post-Spinners period (1962-1966) when it was used exclusively for non-industrial league ball by a number of teams. Although local teams continued to play at the facility after 1966, this later period is not of exceptional significance.

The property's boundary encompasses only part of its parcel. Depicted at the NC HPO GIS website (Figure 86), the boundary is described and justified in the nomination as follows:

The nominated area is the approximately thirty-acre northeast portion of the 54.83 parcel in which the ballpark is located. It is bounded by Balfour Road on the south and the current east and north parcel lines north of the road. The west boundary is a line that follows the main access drive to the ballpark leading north from Balfour Road, a branch of that road that leads northwest to the picnic area on the south side of the ballpark, and a straight line following the line of the branch located immediately southwest of the ballpark to where it meets the north parcel line. The area west of the access road extending west to the current parcel line of the tax parcel north of Balfour Road is excluded from the nominated area.

The boundary includes the main character-defining historic resources—the baseball field and grandstand—and a portion of the surrounding parcel which serves as an appropriate historic setting for the ballpark.

National Register of Historic Places Evaluation

No observable changes or alterations have been made to Berkeley Mills Ballpark since its listing on the NRHP in 2016. It retains its integrity and continues to merit NRHP listing.

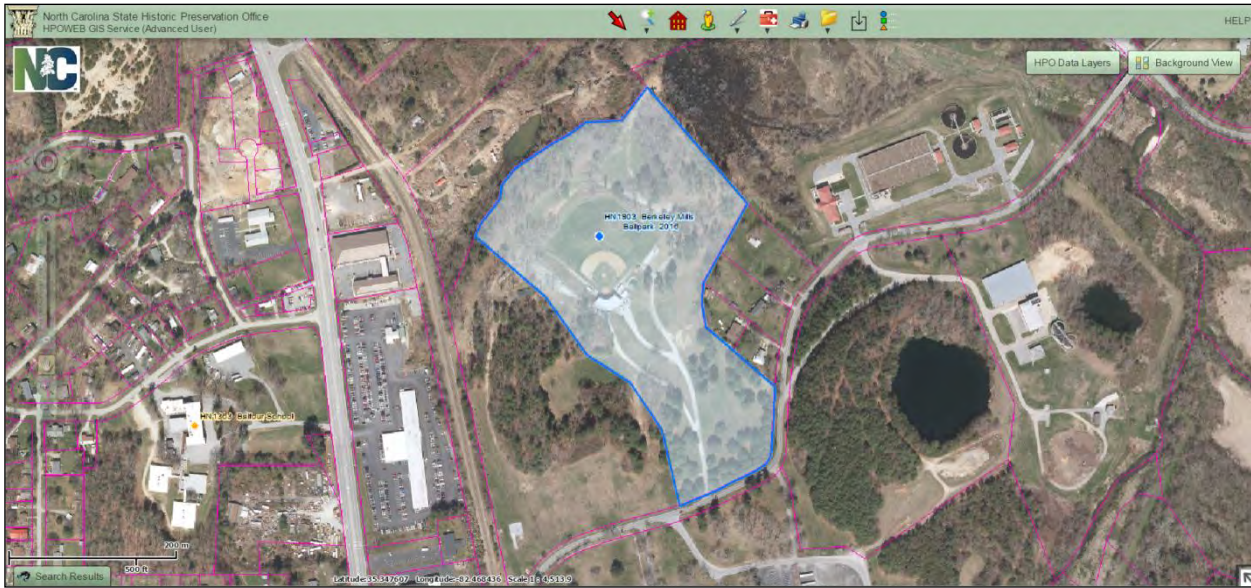



Figure 86. Berkeley Mills Ballpark NRHP boundary (source: <http://gis.ncdcr.gov/hpweb/>)

#54) Grimesdale Subdivision

	Grimesdale Subdivision
	HN-1970 [AECOM survey # 54]
	Roughly bounded by Brookside Camp on west, Cardinal on north, Crabapple Hill/North Mason on east, and Napier/Primrose streets on south, Hendersonville vicinity
	Multiple parcels
	Ca. 1955 to present
	Recommended not eligible for NRHP listing

Description

The Grimesdale Subdivision is a 1950s/1960s Henderson County suburban development. Of the neighborhood’s 123 single-family residences, 117 utilize the popular post-war traditional Ranch or Raised Ranch designs of that period. The remaining six are three Split-Level designs and one Cape Cod, one Colonial Revival, and one Contemporary. In addition to its houses, the neighborhood has a one-acre park near its center. Some street names are marked on obelisk-like concrete posts and mid-1960s’ brick pillars topped by cast concrete balls, as well as by standard street signs (Thornton, Drant, and VandenDolder 2016) (Figure 87 and Figure 88).

Grimesdale is an insular neighborhood. Its only access is off of Brookside Camp Road, from which most of its streets extend to the east for only a block or two. Its grid-like design is somewhat softened by slight curves or angled turns where most its blocks meet or diverge. Its residential lots are approximately one-half-acre in size, with the houses situated close to the middle of their respective parcels. (The exception is the home of developer Charles P. Grimes at 210 Crabapple Lane, which occupies an approximately six-acre parcel that includes a man-made pond.) Green space, developed landscaping, and numerous mature trees characterize these lots. Almost all houses have an engaged carport or garage approached by a paved front driveway that runs straight from the street. The subdivision includes no sidewalks.



Figure 87. East side of Crabapple Hill south of Cardinal Lane, with concrete street marker, at left; west side of Wesley Way north of Magnolia Drive, at right



Figure 88. 3237 Florida Drive and brick street marker at corner of junction of Brookside Camp Road, at left; south side of Magnolia Drive east of Brookside Camp Road, at right

The Grimesdale Subdivision is clearly separable from its surroundings on three of its four sides (Figure 89). To its west, on the opposite side of Brookside Camp Road, is a row of two-story, brick, apartment buildings erected in the 1980s. To its north is the Hickory Hill Subdivision, which was platted in 1972 (Plat Book C/Page 227A). To the east are scattered irregular development and open land and fields along Mud Creek. The neighborhood to the south of what is here called the Grimesdale Subdivision is part of the land that Charles P. Grimes acquired in the 1950s and, in common parlance, would be considered part of Grimesdale. However, it was not platted until the late 1970s—without the name Grimesdale attached to its maps—by Charles W. Grimes, the senior Grimes’ son. It is excluded from the potential NRHP-eligible historic district due its late development: were its houses included, all would be noncontributing resources.



Figure 89. Apartments erected in 1980s opposite Grimesdale on Brookside Camp Road, at left; 1980s houses on Apple Creek Lane within portion of Grimesdale neighborhood developed beginning in late 1970s, at right

Traditional Ranch/Raised Ranch

The most popular housing type found in Grimesdale is the traditional Ranch style. Eighty-four of the subdivision’s houses fall into this typology including the subdivision’s earliest houses, as well as the house built for Grimesdale developer Charles P. Grimes. The traditional Ranch-style house is characterized formally by its one-story linear floorplan. Architectural features common to the style

include low-pitched roofs, deep overhanging eaves, asymmetrical fenestration patterns, bands of windows, colonnaded porches, brick veneer or asbestos siding, large centrally located or exterior-end chimneys, and slab-on-grade construction. Traditional Ranch houses typically feature an attached carport or garage, as is the case throughout Grimesdale. The houses located at 3149 Cardinal Lane (ca. 1961) and 3211 Magnolia Drive (ca. 1962) serve as excellent examples of this architectural style within the subdivision (Figure 90).



Figure 90. Houses at 3149 Cardinal Lane (left) and 3211 Magnolia Drive (right) typical of traditional Ranch design

The Raised Ranch subtype is another common architectural style in Grimesdale: 33 houses fall within it. The term “Raised Ranch” is derived from the National Cooperative Highway Research Program’s (NCHRP) Report 723, which discusses the process of evaluating historic significance of Post-World War II housing (Pettis et al. 2012). In its report, the NCHRP classifies the Raised Ranch as a subtype of the traditional Ranch style, stating it retains the same architectural features as a traditional Ranch, with one singular exception: the Raised Ranch design includes an exposed basement level (Pettis et al.:19). In Grimesdale, this basement level almost invariably holds a garage. The houses at 3107 Florida Drive (ca. 1962) and 3123 Cheryl Drive (ca. 1960) typify the Raised Ranch in the subdivision (Figure 91).



Figure 91. 3107 Florida Drive (left) and 3123 Cheryl Drive (right) are Ranch houses with the addition of a basement level holding a garage, typical of the Raised Ranch typology

Alterations to both traditional Ranch and Raised Ranch houses throughout the neighborhood are numerous, with no houses remaining untouched by renovations. The most prevalent changes to Grimesdale's traditional Ranch and Raised Ranch housing types is the enclosure or complete conversion of original carports and garages, as is visible at 3119 Cardinal Lane (traditional Ranch; ca. 1956) and 3231 Magnolia Drive (traditional Ranch; ca. 1966) (Figure 92).



Figure 92. 3119 Cardinal Lane (left) and 3231 Magnolia Drive (right), which both feature enclosed carports, a common alteration found among houses in Grimesdale

The replacement of original exterior cladding with vinyl siding (or in two cases stone) and the replacement or reconfiguration of windows are other prominent alterations in the subdivision. Examples of these alterations can be seen at 3218 Florida Drive (traditional Ranch; ca. 1956) and 3079 Napier Drive (Raised Ranch; ca. 1965) (Figure 93).



Figure 93. 3218 Florida Drive (left) and 3079 Napier Drive (right) display significant alterations to material and fenestration at their front elevations

A small number of structural additions are found throughout the subdivision, as is visible at 3228 Florida Drive (traditional Ranch; ca. 1959) and 3159 Cheryl Drive (Raised Ranch; ca. 1960) (Figure 94). However, this is relatively uncommon in Grimesdale.



Figure 94. 3228 Florida Drive (left) and 3159 Cheryl Drive (right) with side additions

Split-Level and other house types

Despite the popularity of Split-Level design from the 1950s through the 1970s, only three examples of the style exist within the subdivision, built between ca. 1963 and ca. 1972. Identified largely by its multi-story “split” living space, the style, as defined in the NCHRP report, typically displays attached garages, low-pitched roofs, large expansive windows, and prominent front porches (Pettis et al. 2012:19). The Split-Level houses at 3243 Charlyne Drive (ca. 1963) (Figure 95, at left) and 3115 Magnolia Drive (ca. 1967) remain largely intact

With its two-story, gable-front block that includes an overhanging second story and a full-height portico, the house at 3106 Charlyne Drive (ca. 1960) is the only representative of the Colonial Revival style in the subdivision (Figure 95, at right).



Figure 95. Split-Level house at 3243 Charlyne Drive (left) that remains intact and characteristic, and altered Colonial Revival-style house at 3106 Charlyne Drive (right)

The house at 3153 Cheryl Drive (ca. 1966) is the only one in the neighborhood to utilize the Contemporary style (Pettis et al. 2012:22-23) (Figure 96, at left). It features a low-sloped/flat roof, large overhanging eaves, horizontal siding, and large paned windows. The final outlier is a Cape Cod-style house built in 1987 at 185 North Mason Way, which postdates the potential district’s period of significance (Figure 96, at right).



Figure 96. Contemporary-style house at 3153 Cheryl Drive (left) and Cape Cod house at 185 North Mason Way (right)

The following table identifies each house (and the park) within the Grimesdale Subdivision by address/parcel number, date, plat, a brief description/integrity assessment, and whether it is believed to contribute to a potential historic district. The addresses are organized street by street, running roughly north to south and west to east. The dates are approximations based upon the tax date. In the few instances where the tax date is improbable, an approximate date based upon comparative houses was substituted. The plat column references which platted block of the subdivision the house stands in. The plats are identified and dated in the following history of Grimesdale. The next column briefly describes each house and its apparent integrity. The final column includes a recommendation of whether the resource is contributing (identified with a “C”) or noncontributing (“NC”) to the potential historic district. The reasons for noncontributing status are age (“NC-age”) or alteration (“NC-alt”). A photograph of each resource follows the inventory, in the order in which it appears in the table (Figure 97 through Figure 158).

Address (Parcel #)	Approx date	Plat	Description/Integrity	C or NC
3210 Cardinal (104039)	1964	Blocks A, B, C, D	Side-gabled Raised Ranch clad in brick veneer; asymmetrical window placement; basement-level garage and chimney on gable ends. Little altered and maintains good integrity.	C
3160 Cardinal (107107)	1959	Blocks A, B, C, D	Raised Ranch clad in brick; multiple asymmetrical openings including bay window; basement-level garage and on-grade carport on gable ends. Little altered; maintains good integrity.	C
3150 Cardinal (113732)	1964	Blocks A, B, C, D	Ranch with low-pitched hipped roof and wide overhanging eaves; clad in brick; features covered side porch and a centrally placed ridge chimney. Little altered and overall good integrity.	C
3140 Cardinal (110113)	1969	Blocks A, B, C, D	Side-gabled Raised Ranch clad in brick; above-ground garage and rear-facing basement, interior sloped chimney, small porch. Alterations to front door and some replacement windows, but otherwise intact and retains overall form and integrity.	C
3120 Cardinal (112233)	1962	Blocks A, B, C, D	Raised Ranch with front entry porch supported by decorative cast iron columns and a divided-light bay window. Lacks integrity due to application of stone veneer on primary façade, enclosure of carport, and reconfiguration of front door.	NC-alt
3110 Cardinal (9975628)	1971	Block A Extension	Cross-gable Raised Ranch with partial porch on primary façade; multiple banded windows and two car basement garage. Not contributing due to age.	NC-age
3209 Cardinal (106272)	1961	Blocks A, B, C, D	Hipped-roof Ranch clad in brick; interior sloped chimney and on-grade carport. Retains original features including multiple windows bands and a simple front entry. Has good integrity.	C
3159 Cardinal (103532)	1958	Blocks A, B, C, D	Cross-gable Ranch clad in brick; multiple banded window openings; front porch with wide overhanging eaves. Lacks integrity due to enclosure of carport.	NC-alt
3149 Cardinal (111926)	1961	Blocks A, B, C, D	Cross hipped Ranch clad in brick; banded windows, exterior chimney, and carport. Intact and maintains good integrity.	C
3139 Cardinal (108120)	1965	Blocks A, B, C, D	Cross-hipped, brick Ranch; exterior-end chimney, carport, and multiple banded windows. Replacement windows, but otherwise intact, retaining overall form. Retains integrity.	C
3129 Cardinal (110185)	1988	Blocks A, B, C, D	Cross-gabled Ranch clad in brick; features stacked gables on primary façade and side garage. Not contributing due to age.	NC-age
3119 Cardinal (111104)	1956	Blocks A, B, C, D	Side-gabled Ranch with small front entry porch and interior chimney. Multiple replacement windows, enclosed carport, and addition of porch, so lacks integrity. (Date source: (Thornton, Drant, and VandenDolder 2016).)	NC-alt
3109 Cardinal (102442)	1966	Blocks A, B, C, D	Side gabled Ranch with interior-end chimney; clad in brick, features bay window. Replacement windows, roof, and enclosed carport, so lacks integrity.	NC-alt
292 Brookside Camp (101819)	1955	Blocks A, B, C, D	Side-gabled brick Ranch; features multiple banded windows and end chimney. Carport converted into garage and replacement windows, so has lost integrity.	NC-alt
102 Brookside Camp (104850)	1963	Block F	Hip-roofed brick Ranch; form, exterior-end chimney, multiple small windows, side porch/carport intact; retains integrity.	C
3228 Florida (105344)	1959	Blocks A, B, C, D	Cross-gabled, brick Ranch; recessed front porch. Addition to gable end and enclosure of carport, so has lost integrity.	NC-alt

Address (Parcel #)	Approx date	Plat	Description/Integrity	C or NC
3218 Florida (105694)	1956	Blocks A, B, C, D	Cross-gabled Ranch. Multiple additions and material alterations result in lost integrity.	NC-alt
3208 Florida (109076)	1966	Blocks A, B, C, D	Side-gabled Raised Ranch clad in brick; multiple banded windows, front entry porch, overhanging eaves. Enclosed carport, so lacks integrity.	NC-alt
3158 Florida (106664)	1980	Blocks A, B, C, D	Side-gabled brick Ranch; multiple altered windows and age result in lack of integrity.	NC-age
3148 Florida (110553)	1966	Blocks A, B, C, D	Side-gabled Raised Ranch clad in brick with basement garage, original windows, and interior chimney. Retains good integrity.	C
3138 Florida (112746)	1963	Blocks A, B, C, D	Cross-gabled Ranch with end chimney. Multiple alterations to exterior including significant material changes and an addition. Thereby lacks integrity.	NC-alt
3128 Florida (102437)	1972	Blocks A, B, C, D	Side-gabled Split-Level featuring asbestos-tile siding and brick veneer, multiple banded windows, and basement garage. Not contributing due to age.	NC-age
3118 Florida (111266)	1957	Blocks A, B, C, D	Side gabled Ranch with brick and later-added vinyl cladding, multiple banded windows, and front porch. Carport converted into garage. Lacks integrity.	NC-alt
3108 Florida (110814)	1957	Blocks A, B, C, D	Cross-hipped Ranch; numerous alterations including vinyl siding and addition of sunporch creating significant alteration to form. Lacks integrity.	NC-alt
3070 Florida (101609)	1961	Block B Extension	Crossed-gabled Raised Ranch; brick and later-added vinyl cladding, recessed front porch, basement; addition of attached two-car garage at likely site of carport, so integrity lost.	NC-alt
3237 Florida (102305)	1968	Blocks A, B, C, D	Hipped-roof Raised Ranch clad in brick and later-added vinyl; interior end chimney, banded windows, basement garage. Limited alterations, so retains integrity.	C
3227 Florida (103750)	1955	Blocks A, B, C, D	Cross-gabled brick Ranch; retains banded windows, small front porch, and carport. Maintains good integrity.	C
3217 Florida (112530)	1956	Blocks A, B, C, D	Side-gabled Ranch clad in brick; interior and exterior chimneys, multiple banded windows; numerous alterations to materials and porch and carport enclosed. Lacks integrity.	NC-alt
3207 Florida (107293)	1963	Blocks A, B, C, D	Side-gabled Ranch with end chimney and brick cladding, banded and bay windows, carport, and recessed front porch. Maintains good integrity	C
3157 Florida (113566)	1966	Blocks A, B, C, D	Side-gabled brick Raised Ranch retaining multiple banded windows, recessed front entryway, carport. Good integrity.	C
3147 Florida (104056)	1969	Blocks A, B, C, D	Side-gabled Ranch; interior chimney, brick cladding, banded windows. Replacement windows and carport enclosed or replaced by garage. Lacks integrity.	NC-alt
3137 Florida (111219)	1968	Blocks A, B, C, D	Hipped-roof brick Ranch retaining interior-end chimney, front porch, banded windows, two-car carport. Retains integrity.	C
3127 Florida (112268)	1962	Blocks A, B, C, D	Cross-hipped brick Ranch with banded windows and interior end chimney. Original carport enclosed and new carport addition. Lacks integrity.	NC-alt
3117 Florida (105379)	1962	Blocks A, B, C, D	Hipped Raised Ranch clad in brick; multiple banded windows and central interior chimney. Retains good integrity.	C

Address (Parcel #)	Approx date	Plat	Description/Integrity	C or NC
3107 Florida (100416)	1962	Blocks A, B, C, D	Raised Ranch with hipped roof; clad in asbestos tile siding; front porch, basement garage, banded windows, interior and exterior end chimney. Overall good integrity.	C
3087 Florida (1012432)	2016	Special Subdivis'n	Cross-gabled Ranch; vertical siding, banded windows. Not contributing due to age.	NC-age
3246 Charlyne (113488)	1957	Blocks A, B, C, D	Hipped roof Ranch; brick cladding, exterior end chimney, banded windows. Maintains good integrity.	C
3236 Charlyne (116224)	1956	Blocks A, B, C, D	Side-gabled brick Ranch; multiple banded windows, interior end chimney; carport enclosed on two sides; lacks integrity	NC-alt
3226 Charlyne (104942)	1958	Blocks A, B, C, D	Ranch with hipped roof and central interior chimney; brick cladding, banded windows; original carport has been fully enclosed; lacks integrity.	NC-alt
3206 Charlyne (110029)	1965	Blocks A, B, C, D	Cross-gabled brick Ranch; multiple banded windows, exterior end chimney, two-car carport. Rear addition, but retains original windows, carport, and form. Retains integrity.	C
3156 Charlyne (112869)	1956	Blocks A, B, C, D	Side-gabled brick Ranch; multiple banded windows, exterior chimney. Conversion of carport into sunporch; lacks integrity.	NC-alt
3146 Charlyne (100949)	1956	Blocks A, B, C, D	Cross-hipped Ranch clad in brick; interior chimney, small porch. Enclosed carport; lacks integrity.	NC-alt
3136 Charlyne (114839)	1959	Blocks A, B, C, D	Side-gabled brick Ranch; small front porch, banded windows, enclosed exterior end chimney. Brick addition at west to other side of chimney likely where carport stood; lacks integrity.	NC-alt
3126 Charlyne (113894)	1956	Blocks A, B, C, D	Cross-gabled Ranch with brick cladding, interior chimney, banded windows, carport. Minor alterations to materials, but overall good integrity.	C
3116 Charlyne (104755)	1965	Blocks A, B, C, D	Side-gabled Ranch with brick cladding, banded windows, and exterior end chimney. Conversion of carport into garage and heavy alterations to entrance on primary façade; lacks integrity.	NC-alt
3106 Charlyne (104500)	1960	Blocks A, B, C, D	Colonial Revival-style house with two-story, gable-front, central block with projecting second story; fronted by projecting, engaged, full-height portico and flanked by one-story wings. Later vinyl siding added and sash changed, has lost integrity.	NC-alt
3243 Charlyne (104285)	1963	Block E	Cross-gabled Split-Level clad in brick and later vinyl; multiple banded windows, exterior end chimney, and small front porch; basement-level garage. Retains integrity in spite of vinyl siding.	C
3239 Charlyne (100373)	1961	Block E	Hipped-roof brick Ranch with interior chimney, banded windows, attached garage. Retains good integrity.	C
3233 Charlyne (112834)	1957	Block E	Side-gabled brick Ranch with vinyl cladding; interior chimney, banded windows. Enclosed two-car carport; lacks integrity.	NC-alt
3223 Charlyne (108815)	1961	Block E	Cross-gabled Ranch with brick and later vinyl cladding; exterior-end chimney, banded windows; original detached garage. No noticeable alterations; retains good integrity.	C
Grimesdale Community Park (105283)	no date	Blocks A, B, C, D	Open green space with disbursed trees, picnic benches, and charcoal grills. Retains park-like feel. Located at SE corner of Charlyne and Cheryl drives.	C

Address (Parcel #)	Approx date	Plat	Description/Integrity	C or NC
3135 Charlyne (107467)	1960	Blocks A, B, C, D	Side-gabled Ranch with brick cladding, interior chimney, multiple banded windows, small raised front porch, attached two car garage; no noticeable alterations—retains good integrity.	C
3125 Charlyne (108772)	1959	Blocks A, B, C, D	Hipped Ranch clad in brick; exterior end chimney, banded windows. Retains good integrity.	C
3115 Charlyne (113986)	1967	Blocks A, B, C, D	Side-gabled brick Ranch; large overhanging front porch, interior-end chimney, two-car garage. Retains good integrity.	C
3134 Cheryl (106434)	1956	Blocks A, B, C, D	Cross-gabled brick Ranch; interior-end chimney, large brick carport, banded windows, later vinyl siding. Retains integrity.	C
3124 Cheryl (108869)	1958	Blocks A, B, C, D	Hipped brick Ranch; banded windows, interior ridge chimney; two-car carport has been partially enclosed; lacks integrity.	NC-alt
3114 Cheryl (108454)	1966	Blocks A, B, C, D	Raised Ranch with hipped roof and brick cladding; front porch with overhanging eaves supported by decorative cast iron columns; basement garage. Retains good integrity.	C
3104 Cheryl (104983)	1970	Blocks A, B, C, D	Side-gabled Ranch clad in brick; gabled front porch, banded windows, end chimney. Not contributing due to age.	NC-age
3159 Cheryl (110886)	1960	Block E	Side-gabled Raised Ranch with asbestos siding, many banded windows, interior chimneys, basement garage. Addition to east and significant changes to fenestration; lacks integrity.	NC alt
3155 Cheryl (107925)	1956	Block E	Cross-gabled brick Ranch; overhanging eaves, at porch, banded windows, divided two-car garage/carport. Good integrity	C
3153 Cheryl (113195)	1966	Block E	Contemporary style with widely overhanging, low-sloped roof with exposed rafters and vertical siding. Large carport screened but intact; retains integrity.	C
3143 Cheryl (108500)	1964	Block E	Hipped Ranch clad in brick; interior chimney, banded windows; enclosed carport; lacks integrity.	NC-alt
3133 Cheryl (109346)	1957	Block E	Side-gabled, stone and asbestos-sided Ranch; interior stone chimney, banded windows. Large west ell includes enclosed former carport and addition of new one; lacks integrity	NC-alt
3123 Cheryl (109337)	1960	Block E	Side-gabled brick Raised Ranch with basement garage, exterior end chimney, banded widows. Retains good integrity.	C
3113 Cheryl (110117)	1963	Block E	Hipped Ranch with brick cladding, banded windows, front stoop, enclosed garage. Retains good integrity.	C
3103 Cheryl (104480)	1963	Block E	Cross-gabled Ranch with attached, side-entered, two car garage, brick cladding, recessed front porch with overhanging eaves, interior chimney. Retains good integrity.	C
290 Crabapple Hill (9975534)	1960	Block B Extension	Side-gabled Raised Ranch clad in brick; banded windows; addition of large overhanging pedimented front porch and partial enclosure of carport; lacks integrity.	NC-alt
280 Crabapple Hill (108824)	1961	Block B Extension	Hipped-roof Ranch with partially enclosed chimney; later-added vinyl siding, banded windows. Enclosed carport and significant loss/covering of original material; lacks integrity.	NC-alt
210 Crabapple Hill (1012431)	1957	Special Subdivis'n	Side-gabled brick Ranch; large integral porch with columns and overhanging eaves; banded windows; two-car garage to rear likely an early addition; believed to retain integrity. <i>Note:</i> was home of developer Charles P. Grimes; retains a 6.52-acre lot and a large pond added by Grimes; limited access to property.	C

Address (Parcel #)	Approx date	Plat	Description/Integrity	C or NC
208 Crabapple Hill (110270)	1963	Block E Extension	Cross-gabled brick Ranch with banded windows, central interior chimney, vinyl siding. Enclosed carport; lacks integrity.	NC-alt
3152 Wesley (116252)	1960	Block E	Hipped Ranch clad in stone and brick with banded windows, central interior chimney, enclosed carport; lacks integrity. Tax date of 1950 too early. Likely built in early 1960s.	NC-alt
3142 Wesley (107124)	1958	Block E	Cross-hipped-roof, brick Ranch with banded windows, central interior chimney, carport. Retains good integrity.	C
3132 Wesley (106208)	1958	Block E	Side-gabled brick Ranch with exterior-end chimney, bay window. Some replacement windows, but retains integrity.	C
3122 Wesley (105015)	1955	Block E	Cross-hipped Ranch clad in asbestos tiles; banded windows, recessed porch; two car garage. Retains good integrity. May date later, from around 1957 when Block E was developed.	C
3112 Wesley (107936)	1959	Block E	Cross-hip-roofed Ranch clad in later vinyl; exterior chimney, banded windows, carport. Retains integrity in spite of siding.	C
3102 Wesley (101213)	1959	Block E	Side-gabled, stone-veneered Ranch with banded windows, exterior-end chimney. Enclosed carport; lacks integrity.	NC-alt
3098 Wesley (108074)	1963	Block E Extension	Cross hipped Ranch; vertical siding, banded windows, interior brick chimney, recessed porch, side garage. Retains integrity.	C
3094 Wesley (109357)	1977	Block E Extension	Cross-gabled Ranch clad in brick; recessed porch, engaged two-car garage with side entry; not contributing due to age.	NC-age
3082 Wesley (108214)	1965	Block E Extension	Side-gabled Raised Ranch clad in brick; banded windows, front porch with overhanging eaves, carport, exterior end chimney. Retains good integrity.	C
3141 Wesley (110004)	1960	Block G	Cross-hipped brick Ranch; exterior chimney, large windows; significant additions/alterations to footprint. Lacks integrity.	NC-alt
3131 Wesley (100722)	1959	Block G	Cross-hip-roofed Raised Ranch with banded windows, interior chimney; entry on first floor. Retains good integrity.	C
3129 Wesley (100267)	1961	Block G	Hipped brick Raised Ranch; banded windows, raised uncovered front porch; basement garage. Retains good integrity.	C
3121 Wesley (115179)	1959	Block G	Ranch with hipped roof, brick cladding, banded windows, exterior end chimney, enclosed carport; lacks integrity.	NC-alt
3111 Wesley (105447)	1959	Block G	Hipped-roof brick Ranch; banded windows; small front porch supported by decorative metal columns, exterior-end chimney. Carport enclosed and converted into a room; lacks integrity.	NC-alt
3101 Wesley (113962)	1959	Block G	Side-gabled brick Ranch; banded windows, front porch supported by decorative metal columns, exterior end chimney. Carport enclosed, converted into garage; lacks integrity.	NC-alt
3091 Wesley (113263)	1960	Block G and H	Cross-gabled Ranch; brick and later vinyl cladding, banded windows, interior chimney, recessed front porch; two-car garage sided-in and converted to rooms; freestanding garage added. Has lost its integrity.	NC-alt
3093 Wesley (100983)	1961	Block G and H	Hip-roofed brick Raised Ranch with no basement-level garage; some wood-shingle and vinyl siding, interior brick chimney, hipped roof raised porch, bay window. Retains good integrity.	C
3089 Wesley (107930)	1963	Block G and H	Side gabled Raised Ranch; brick cladding, banded windows, exterior end chimney; basement garage. Retains good integrity.	C
3242 Magnolia (104139)	1972	Block E	Side-gabled brick Raised Ranch with large pedimented porch, basement-level one-car garage. Not contributing due to age.	NC-age

Address (Parcel #)	Approx date	Plat	Description/Integrity	C or NC
3232 Magnolia (104959)	1961	Block E	Cross-hipped Ranch; brick clad, interior chimney, recessed porch; garage entry filled, converted into room; lacks integrity.	NC-alt
3222 Magnolia (9926395)	1960	Block E	Cross-hipped brick Ranch with banded windows, interior chimney, hipped-roof front porch; divided two car-garage. Retains good integrity. Tax date of 1953 improbable; likely dates from early 1960s.	C
3212 Magnolia (107305)	1960	Block E	Cross-hipped brick Ranch with interior chimney, banded windows, two-car side-entry garage. Retains good integrity. 1951 tax date improbable; likely dates from early 1960s.	C
3202 Magnolia (105210)	1960	Block E	Side-gabled Ranch; brick cladding, exterior end chimney, banded windows, carport with partially open walls rather than piers. Retains good integrity.	C
3231 Magnolia (109634)	1966	Block F	Cross-gabled Ranch with brick and later vinyl cladding and banded windows. Garage enclosed and converted to room. Lacks integrity.	NC-alt
3221 Magnolia (107158)	1962	Block F	Hipped Ranch; brick cladding, banded windows; hipped front porch supported by columns; carport fully enclosed and converted into room; lacks integrity	NC-alt
3211 Magnolia (116271)	1962	Block F	Hip-roofed brick with banded windows, interior brick chimney; hipped front porch supported by columns; carport built with wall and windows at front elevation and side entry. Retains good integrity.	C
3201 Magnolia (103803)	1959	Block F	Hipped brick Ranch; banded windows; large hipped porch supported by columns; enclosed carport. Lacks integrity.	NC-alt
3136 Magnolia (109262)	1974	Block G and H	Side-gabled Ranch clad in brick; not contributing due to age.	NC-age
3126 Magnolia (114959)	1962	Block G and H	Hipped Ranch clad in brick and vinyl with banded windows, interior brick chimney; enclosed carport; lacks integrity.	NC-alt
3116 Magnolia (103596)	1965	Block G and H	Side-gabled Raised Ranch clad in brick and vinyl; exterior end chimney, recessed front porch, banded windows, basement-level garage. Retains good integrity.	C
3106 Magnolia (108490)	1970	Block G and H	Cross-gabled Ranch; recessed porch, banded windows, vertical siding, engaged garage. Not contributing due to age.	NC-age
3096 Magnolia (111349)	1961	Block G and H	Hipped Ranch clad in brick; interior brick chimney; banded windows; addition of pedimented front porch and carport enclosed and converted into garage. Lacks integrity.	NC-alt
3092 Magnolia (106816)	1963	Block G and H	Side-gabled brick Ranch with vinyl cladding, banded windows, pedimented front porch supported by columns, interior brick chimney; enclosed carport converted to garage. Lacks integrity.	NC-alt
3088 Magnolia (110694)	1961	Block G and H	Hipped-roof, brick Raised Ranch; two-car basement garage, banded windows, hipped front and side porches supported by decorative metal columns. Retains good integrity.	C
3135 Magnolia (101918)	1974	Block G and H	Side-gabled Ranch with brick cladding, large porch with overhanging eaves, central chimney, bay window. Not contributing due to age.	NC-age
3125 Magnolia (101513)	1964	Block G and H	Hip-roofed, brick Raised Ranch with brick cladding, banded windows, recessed front porch; one-car basement garage with additional garage attached to west side. Retains good integrity.	C

Address (Parcel #)	Approx date	Plat	Description/Integrity	C or NC
3115 Magnolia (114735)	1967	Block G and H	Cross-gabled Split-Level clad in brick and vinyl; bay window and banded windows; exterior end chimney; two-car garage with side entry. Retains good integrity.	C
3095 Magnolia (116282)	1962	Block G and H	Hipped Ranch clad in brick; banded windows, exterior end chimney; engaged garage. Retains good integrity.	C
3091 Magnolia (100250)	1961	Block G and H	Side-gabled Raised Ranch; brick and vinyl cladding; banded windows, central interior brick chimney, basement garage. Retains good integrity.	C
3124 Primrose (112555)	1979	Block G and H	Side-gabled Raised Ranch; large full-height front portico; brick cladding. Not contributing due to age.	NC-age
3114 Primrose (109923)	1962	Block G and H	Side-gabled Ranch with brick and later vinyl cladding; exterior front stone chimney and large stone porch not original; carport enclosed, walled at side with stone, and raised porch added to its front; lacks integrity.	NC-alt
3104 Primrose (107547)	1977	Block G and H	Side-gabled Ranch clad in brick with banded windows and central interior chimney. Not contributing due to age.	NC-age
3094 Primrose (102457)	1965	Block G and H	Cross-hipped Ranch clad in brick; engaged double garage, recessed front porch. Retains good integrity.	C
50 Starlight (111558)	1964	Block I	Raised Ranch with brick cladding and side gable; banded windows, central stone chimney. Retains good integrity.	C
51 Starlight (111486)	1979	Block G and H	Raised Ranch clad in brick and vinyl; engaged garage, recessed front porch, rear basement access. Not contributing due to age.	NC-age
185 North Mason (109381)	1987	Block I	Cape Cod, one-and-a-half stories with three dormers, attached garage, vinyl siding. Not contributing due to age.	NC-age
3080 Napier (115604)	1961	Block I	Hipped Ranch with projecting front carport; brick cladding, banded windows, recessed front porch. Retains good integrity.	C
3074 Napier (101739)	1972	Block I	Side-gabled Raised Ranch clad in brick and vinyl; basement-level garage, banded windows, interior chimney; attached carport may be an addition. Not contributing due to age.	NC-age
3068 Napier (101738)	1987	Block I	Raised Ranch with side gables, brick and vinyl cladding, recessed porch basement garage. Not contributing due to age.	NC-age
3085 Napier (114357)	1965	Block I	Side-gabled Raised Ranch; banded windows, exterior end chimney; later-added garage extension alters original form; lacks integrity.	NC-alt
3083 Napier (113701)	1975	Block I	Cross-hipped brick Ranch; banded windows, recessed front porch, engaged garage. Not contributing due to age.	NC-age
3079 Napier (107191)	1965	Block I	Side-gabled Raised Ranch with brick cladding, banded windows, interior end chimney; significant alterations made to fenestration of primary façade; lacks integrity.	NC-alt
3077 Napier (107569)	1970	Block I	Side-gabled Raised Ranch with raised front porch and brick cladding; basement garage. Not contributing due to age.	NC-age
3071 Napier (103031)	1973	Block I	Side gabled brick Ranch with pedimented front porch; banded windows, engaged garage. Not contributing due to age.	NC-age



Figure 97. 3210 Cardinal Lane at left and 3160 Cardinal Lane at right



Figure 98. 3150 Cardinal Lane at left and 3140 Cardinal Lane at right



Figure 99. 3120 Cardinal Lane at left and 3110 Cardinal Lane at right



Figure 100. 3209 Cardinal Lane at left and 3159 Cardinal Lane at right



Figure 101. 3149 Cardinal Lane at left and 3139 Cardinal Lane at right



Figure 102. 3129 Cardinal Lane at left and 3119 Cardinal Lane at right



Figure 103. 3109 Cardinal Lane at left and 292 Brookside Camp Road at right



Figure 104. 102 Brookside Camp Road at left and 3228 Florida Drive at right



Figure 105. 3218 Florida Drive at left and 3208 Florida drive at right



Figure 106. 3158 Florida Drive at left and 3148 Florida drive at right



Figure 107. 3138 Florida Drive at left and 3128 Florida Drive at right



Figure 108. 3118 Florida Drive at left and 3108 Florida Drive at right



Figure 109. 3070 Florida Drive at left and 3237 Florida Drive at right



Figure 110. 3227 Florida Drive at left and 3217 Florida Drive at right



Figure 111. 3207 Florida Drive at left and 3157 Florida Drive at right



Figure 112. 3147 Florida Drive at left and 3137 Florida Drive at right



Figure 113. 3127 Florida Drive at left and 3117 Florida Drive at right



Figure 114. 3107 Florida Drive at left and 3087 Florida Drive at right



Figure 115. 3246 Charlyne Drive at left and 3236 Charlyne Drive at right



Figure 116. 3226 Charlyne Drive at left and 3206 Charlyne Drive at right



Figure 117. 3156 Charlyne Drive at left and 3146 Charlyne Drive at right



Figure 118. 3136 Charlyne Drive at left and 3126 Charlyne Drive at right



Figure 119. 3116 Charlyne Drive at left and 3106 Charlyne Drive at right



Figure 120. 3243 Charlyne Drive at left and 3239 Charlyne Drive at right



Figure 121. 3233 Charlyne Drive at left and 3223 Charlyne Drive at right



Figure 122. Grimesdale Community Park at left and 3135 Charlyne Drive at right



Figure 123. 3125 Charlyne Drive at left and 3115 Charlyne Drive at right



Figure 124. 3134 Cheryl Drive at left and 3124 Cheryl Drive at right



Figure 125. 3114 Cheryl Drive at left and 3104 Cheryl Drive at right



Figure 126. 3159 Cheryl Drive at left and 3155 Cheryl Drive at right



Figure 127. 3153 Cheryl Drive at left and 3143 Cheryl Drive at right



Figure 128. 3133 Cheryl Drive at left and 3123 Cheryl Drive at right



Figure 129. 3113 Cheryl Drive at left at 3103 Cheryl Drive at right



Figure 130. 290 Crabapple Hill Lane at left and 280 Crabapple Hill Lane at right



Figure 131. 210 Crabapple Hill Lane at left (source: Henderson County tax records) and 208 Crabapple Hill Lane at right



Figure 132. 3152 Wesley Way at left and 3142 Wesley Way at right



Figure 133. 3132 Wesley Way at left and 3122 Wesley Way at right



Figure 134. 3112 Wesley Way at left and 3102 Wesley Way at right



Figure 135. 3098 Wesley Way at left and 3094 Wesley Way at right



Figure 136. 3082 Wesley Way at left and 3141 Wesley Way at right



Figure 137. 3131 Wesley Way at left and 3129 Wesley Way at right



Figure 138. 3121 Wesley Way at left and 3111 Wesley Way at right



Figure 139. 3101 Wesley Way at left and 3091 Wesley Way at right



Figure 140. 3093 Wesley Way at left and 3089 Wesley Way at right



Figure 141. 3242 Magnolia Drive at left and 3232 Magnolia Drive at right



Figure 142. 3222 Magnolia Drive at left and 3212 Magnolia Drive at right



Figure 143. 3202 Magnolia Drive at left and 3231 Magnolia Drive at right



Figure 144. 3221 Magnolia Drive at left and 3211 Magnolia Drive at right



Figure 145. 3201 Magnolia Drive at left and 3136 Magnolia Drive at right



Figure 146. 3126 Magnolia Drive at left and 3116 Magnolia Drive at right



Figure 147. 3106 Magnolia Drive at left and 3096 Magnolia Drive at right



Figure 148. 3092 Magnolia Drive at left and 3088 Magnolia Drive at right



Figure 149. 3135 Magnolia Drive at left and 3125 Magnolia Drive at right



Figure 150. 3115 Magnolia Drive at left and 3095 Magnolia Drive at right



Figure 151. 3091 Magnolia Drive at left and 3124 Primrose Drive at right



Figure 152. 3114 Primrose Drive at left and 3104 Primrose Drive at right



Figure 153. 3094 Primrose Drive at left and 50 Starlight Lane at right



Figure 154. 51 Starlight Lane at left and 185 North Mason Way at right



Figure 155. 3080 Napier Drive at left and 3074 Napier Drive at right



Figure 156. 3068 Napier Drive at left and 3085 Napier Drive at right



Figure 157. 3083 Napier Drive at left and 3079 Napier Drive at right



Figure 158. 3077 Napier Drive at left and 3071 Napier Drive at right

History

Before the Grimesdale Subdivision there was, on paper, Country Club Estates (Fain 1980:115; Henderson County Plat Maps Cabinet B/Slide 58). From February through June 1926—during the height Henderson County’s real estate boom—the Asheville *Citizen-Times* ran more than 20 pieces, mostly advertisements, reporting on its planning, amenities, and development (Figure 159, at left). (The developers also ran large ads in Florida’s *Palm Beach Post* and South Carolina’s *Greenville News* and *Florence Morning News* and likely other newspapers as well.) A subdivision map drawn in April 1926 pictured about 650 lots on winding roads edged by the fairways of 10 holes of a planned 18-hole golf course (Figure 159, at right). (These holes included some or all of those of the 9-hole Stoney Mountain Golf Course that had been built on the site in 1925 (Thornton, Drant, and VandenDolder 2016; Asheville *Citizen-Times*, May 5, 1925; Hendersonville *Times News*, January 26, 2014). This was apparently only part of the grandiose plan, for the plat is labeled “Club House Section, Country Club Estates” and fails to include all of the golf course’s holes. In spite of all of the plans and claims, the housing subdivision never lifted a foot off the ground. The *Citizen-Times* last mentioned it in a June 2 ad promoting its “wonderful fishing” opportunities. The 1946 US Geological Survey map shows not a hint of development on its site, although the Stoney Mountain Golf Course may have continued to occupy part of it.

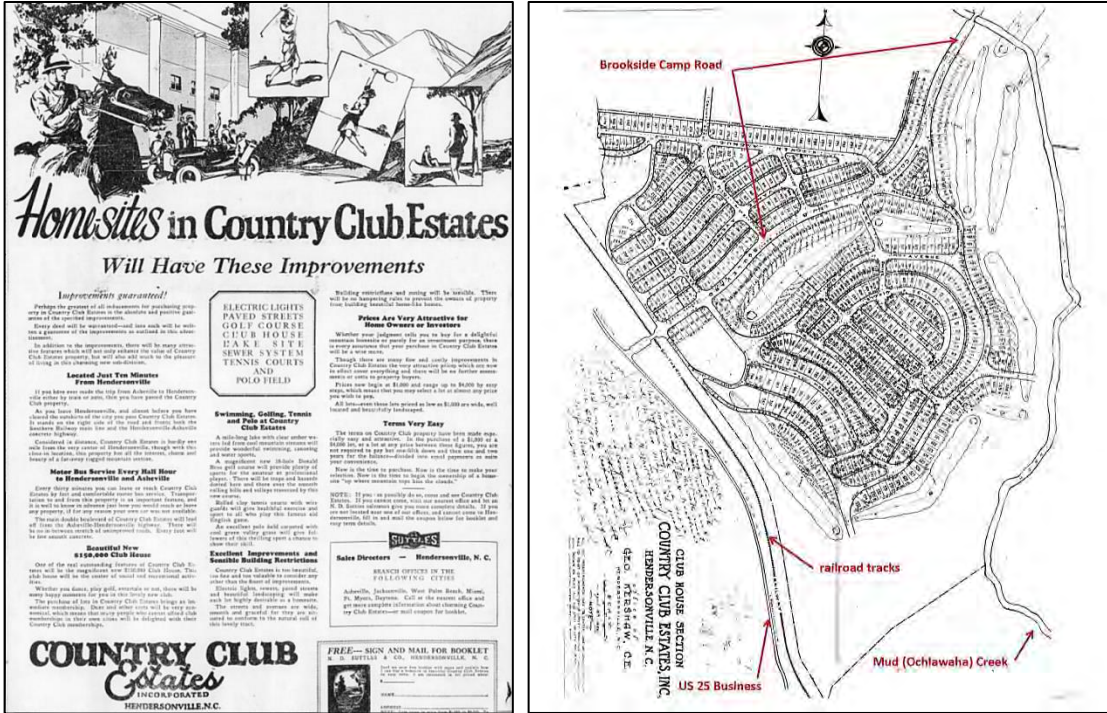


Figure 159. Country Club Estates advertisement (source: Asheville *Citizen-Times*, June 3, 1926) and plat map, April 16, 1926 (source: Henderson County Plat Maps)

In 1940 entrepreneur Charles P. Grimes, developer of the eponymous Grimesdale, appeared in western North Carolina, when he added an Asheville market to the chain of five he owned in North Carolina and Virginia (Asheville *Citizen-Times*, December 8, 1940; Asheville *Citizen*, December 13, 1940). Grimes’ other regional enterprises were to include real estate and development. In 1946, for example, he purchased a 750-acre farm at Swannanoa and in 1958 added a 1,500-acre estate in Transylvania County (Asheville *Citizen-Times*, February 21, 1946 and July 13, 1958). In 1946 Grimes relocated from Buncombe to Henderson County. By then the successful Charleston, West Virginia native had extended his meat market chain into South Carolina and Tennessee.

In the early 1950s Grimes purchased a portion of the planned Country Club Estates and former Stoney Mountain Golf Course with plans to build a development he was to call Grimesdale. Moving roughly north to south, starting closest to Brookside Camp Road, Grimes steadily developed the neighborhood between 1956 and 1962 (see list below and representative plat maps at (Figure 160).

Name	Plan Date	Locator
Blocks A, B, C, D of Grimesdale	June 1955	Plat Book B/Page 378
Grimesdale Block E	June 1957	Plat Book C/Page 1
Part of Block F Grimesdale Subdivision	June 1958	Plat Book C/Page 52a
Part of Block G Grimesdale	November 1958	Plat Book C/Page 55a
Extension of Block A and B Grimesdale Subdivision	October 1959	Plat Book C/Page 60a
Grimesdale Block G and H	December 1959	Plat Book C/Page 61
Block I Grimesdale	May 1960	Plat Book C/Page 78a
Grimesdale Block E Extension	November 1962	Plat Book C/Page 67a
Special Subdivision – Ellis (division of Charles P. Grimes home property)	September 2009	Plat Book 2009/Page 7885

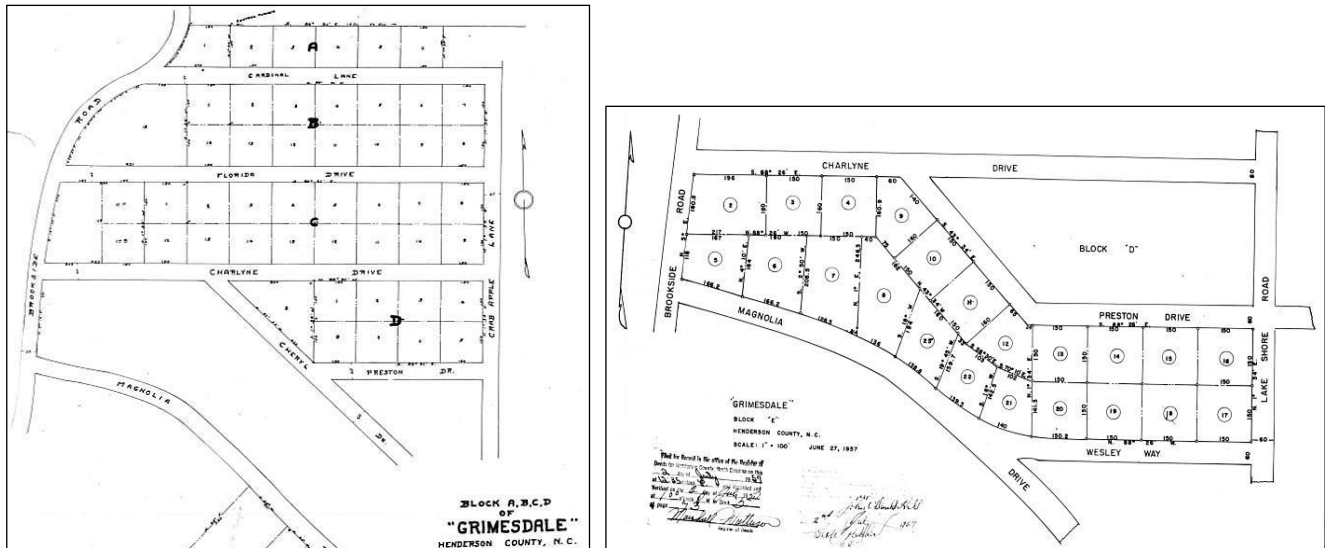


Figure 160. At left, first plat map covering Grimesdale Blocks A, B, C, and D (June 1955); at right, plat map of Block E (June 1957)

Grimes owned the property upon which the subdivision was raised, but he early placed much of the work of developing it in the hands of V. (Vanoy) D. Orr of Mountain Home and later Grimesdale. According to a 1958 newspaper account, after purchasing the Grimesdale property (*Asheville Citizen-Times*, July 13, 1958): “He turned it over to V.D. Orr, realtor and builder, who developed it. The tract has light, sewers, water, paved roads and nearly 40 homes.”

V.D. Orr (1915-1978) ran numerous advertisements for Grimesdale in Asheville (and, presumably, Hendersonville) newspapers from the mid-1950s through the 1960s. As 1957 progressed, he identified himself in these ads first as a “Realtor,” then as a “Realtor & Developer,” then as a “Realtor-Builder” (see for example, *Asheville Citizen-Times*, May 29, June 23, and August 18, 1957). Some of the ads identified C.P. Grimes as the owner, some did not.

Orr’s advertisements in the *Asheville Citizen-Times* provide a window on the success of Grimesdale during its first few years. A May 29, 1957 ad stated that the subdivision contained over 200 150-foot by 150-foot lots. A June 23, 1957 ad called out “superb mountain views, level lots, park and lake” and “Several new homes open for inspection.” On October 24, 1957 Orr announced that Grimesdale held “Twenty-eight homes built and occupied, room for 175 more.” A Grimesdale ad in the *Citizen-Times* of November 22, 1959 stated that 50 homes were occupied.

A history of the subdivision produced by its homeowners association states that the first residents were Rod and Joan Miller, who in November 1956 moved into a new house at 3119 Cardinal Lane. A few days later Robert and Louise Dunlap moved to their new house on Florida Drive (Thornton, Drant, and VandenDolder 2016; http://www.grimesdale.org/docs/2013_07.gazette.pdf). The *Orlando* (Florida) *Evening Star* (May 7, 1957) reported in the spring of 1957 that Joseph Braun, a real estate developer from Daytona Beach, was just completing his new three-bedroom summer home in Grimesdale.

The early presence of a Florida native in the subdivision is not surprising. Florida had a connection with Henderson County dating back to the 1920s and V.O. Orr stressed retirees in his ads, heading them with the word “RETIRING” in large capitals (*Asheville Citizen*, October 24, 1957) or stating that the neighborhood was “ideal for retired people,” a “choice spot for retirement,” and “home of contented retirees!” (*Asheville Citizen-Times*, June 23, 1957, November 22, 1959, and August 1, 1965).

Indeed, in one ad he went so far as to say “We cater exclusively to retired people” (Asheville *Citizen-Times*, June 11, 1961). Grimesdale was not restricted to retired individuals or those of a minimum age, but individuals retired there from, in addition to Florida, the Washington, DC area (Georgetown University Alumni Magazine, September 1959), Cleveland (Asheville *Citizen*, January 3, 1960), and Long Island (Asheville *Citizen*, October 4, 1966 and November 17, 1966). They likely came from many other spots as well.

Initially the roads were not paved. The Millers pushed for improvement and the state agreed to pave the streets once Grimes had properly graded each one and the property owners had agreed to pay for the materials. The first street paved was Wesley Way (Thornton, Drant, and VandenDolder 2016). Grimes built a home for himself, on the east side of the subdivision, by 1957. The house, which still stands at 210 Crabapple Lane, did not look notably different than the others in the neighborhood. It stands, however, on a six-plus acre lot overlooking a lake that he created in 1957 on the property (Asheville *Citizen-Times*, July 13, 1958).

Dates assigned by tax records align sufficiently well with the claims in the advertisements to suggest they are accurate within a few years or so. Tax records assign 1950s construction dates to 37 houses in Grimesdale. This jibes with the number of houses reportedly there in 1958, “nearly 40.” According largely to the tax records, the number of houses within the potential boundaries of the Grimesdale Subdivision historic district—by decade and percentage—are the following:

GRIMESDALE SUBDIVISION HOUSES		
Decade constructed	Number of houses	Percentage of total
1950s	37	30%
1960s	66	54%
1970s	15	12%
1980s	4	3%
Post-1990	1	1%

As the percentages indicate, the subdivision (as defined here) was largely built out by the end of the 1960s. Since 1990 only one new house has been built within it. The streets to the south of the defined boundary of the neighborhood, east and south of North Primrose Drive and Primrose Drive, respectively, are currently considered part of Grimesdale by its residents and can only be reached through the subdivision. These streets, however, were developed by Grimes’ son, Charles W. Grimes in the late 1970s and the deeds to their houses do not identify them as part of Grimesdale. Rather, they are identified as “Section One Property of Charles W. Grimes” (Plat Book C/Page 361 (April 1977)) and “Property of Charles W. Grimes” (Plat Book C/Page 368a (January 1978)). The houses on these streets date from the late 1970s into the 2000s (Figure 161).



Figure 161. Left, property of Charles W. Grimes (Plat Book C/Page 368A (1978)); at right, map of Grimesdale showing property of Charles W. Grimes, outlined in purple, south of potential historic district boundary, outlined in red.

Charles P. Grimes died in 1988 in Hendersonville. An obituary noted his ownership of the multistate chain of markets, his development of Grimesdale, and his investment in numerous farms in western North Carolina (*Asheville Citizen-Times*, September 25, 1988)

National Register Eligibility Evaluation

In order to be deemed contributing resources, traditional Ranch/Raised Ranch houses (which comprise almost all of the subdivision's houses) were required to meet the following criteria: minor or no changes to their overall footprint, primarily original fenestration patterns, open carports or unconverted garages, and a retention of a majority of original materials. Fifty-three traditional Ranch/Raised Ranch houses in the subdivision met the outlined criteria. Four additional houses, falling outside of the Ranch/Raised Ranch style, but meeting all other criteria, are believed to retain sufficient integrity to be contributing—two Split-Levels, a Cape Cod, and a contemporary-style—as well as the subdivision's one park. The total number of contributing resources is 58. Forty-five houses (44 traditional Ranch/Raised Ranch houses and one Colonial Revival-style dwelling) were determined to be noncontributing due to a loss of integrity, and an additional 20 houses (one Split-Level and 19 traditional Ranch/Raised Ranch houses) are noncontributing due to their age. The total of noncontributing resources is 65. In summary, the subdivision contains 123 resources, 58 (47%) of which are contributing and 65 (53%) of which are noncontributing.


Houses determined as having lost their integrity featured significant alterations to window placement and sash, cladding and, most notably, altered carports and garages. The enclosure of carports (and some garages) with frame covered by manufactured materials has resulted in a significant loss of design, material, and workmanship integrity throughout the neighborhood. Grimesdale's composition

of primarily brick houses makes the alteration of these appendages immediate and jarringly apparent. Located at the end of wide asphalt entry drives, the carports and garages are among the subdivisions most notable visual features. The neighborhood retains a high degree of integrity of location and setting. Due to the alterations to the houses, however, Grimesland has low-to-medium integrity of design, materials, and workmanship, and accordingly low-to-medium integrity of feeling and association.

It is recommended that the Grimesdale Subdivision does not retain sufficient integrity to qualify for NRHP listing under Criterion A in the potential area of significance of community planning and development, as over half of its resources have lost their physical integrity. Due to the high percentage of houses that have lost their physical integrity, it is also recommended as not eligible for NRHP listing under Criterion C as a significant and distinguishable entity (historic district). The subdivision is also not believed to be NRHP-eligible under Criterion B for association with a person important in our past. Charles P. Grimes was a successful local entrepreneur, but did not attain the high standard of importance and significance required by the NRHP for such individuals. Finally, Grimesdale is not believed to have the potential to yield important information on the basis of its appearance or construction. It is therefore not recommended as NRHP-eligible under Criterion D.

GRIMESDALE SUBDIVISION		
Element of Integrity	Level of Integrity	Assessment
Location	High	Stands on place where constructed.
Design	Low to Medium	More than 50% of the houses in the subdivision are believed to have lost their integrity of design due to alterations.
Setting	Medium to High	Remains in suburban setting close to the town of Hendersonville, although nearby development is greater than when it was established.
Materials	Low to Medium	More than 50% of the houses in the subdivision are believed to have lost their integrity of materials due to alterations.
Workmanship	Low to Medium	More than 50% of the houses in the subdivision are believed to have lost their integrity of workmanship due to alterations.
Feeling	Low to Medium	More than 50% of the houses in the subdivision are believed to have lost their integrity of design, materials, and workmanship due to alterations, diminishing integrity of feeling.
Association	Medium	More than 50% of the houses in the subdivision are believed to have lost their integrity of design, materials, and workmanship due to alterations, diminishing integrity of association.

(#58) Henderson County Home

	Henderson County Home
	HN-1971 [AECOM survey # 58]
	800 Stoney Mountain Road, Hendersonville vicinity
	REID/Parcel # 9904094 PIN # 9650716327
	1934
	Recommended eligible for NRHP listing under Criteria A and C

Description

The brick Henderson County Home occupies a 6.4 acre parcel of county-owned land on the north side of Stoney Mountain Road. The parcel is part of approximately 110 contiguous acres of government-owned land that hold the county landfill, humane society, school bus repair facility and, on the west at Mountain Road, a state highway commission facility on the site of a former county jail. The County Home sits in an open clearing. A line of trees a short distance from the building’s front (west) elevation screens it from the surrounding activity, although the landfill looms to the north, its presence often announced by its smell. To the rear (east) are a small brick building likely erected with the Home as its washhouse, a modern metal equipment shed, and a large gravel lot with access to the landfill that serves as storage and parking for semi-trailers (Figure 162).



Figure 162. Site plan showing Henderson County Home in relation to secondary buildings

Henderson County Home

The one story Henderson County Home is built of brick and, according to an account of its opening (*Asheville Citizen*, June 17, 1934), timber construction. All of its elevations, but for its principal central (west-facing) entry, are brick clad. It stands on a continuous brick foundation and is laid out with a distinctive V-shaped plan. The point of the building, aimed toward the west, consists of the front (west) entry at the tip, with north and south wings angling off behind it. The V-shape encompassed most of the building’s original residential block: a common room occupied the tip, while the wings, segregated by sex, held the inhabitants’ rooms. Extending rear (east) of the common room were the original dining room and kitchen. The final rear block, east of the kitchen and a former landing, originally held three rooms for the superintendent and his family (Figure 163 through Figure 167).

The Colonial Revival-style building’s physical and architectural focus is the three-bay wide façade at the corner that holds the principal entry. Jutting forward of the wings, it is covered with white-painted stucco accented by cornice returns and applied brick quoins that read as corner pilasters. A small oculus window is centered in the gable. A porch supported on a brick foundation topped by an overhanging concrete floor shades the front bays. The porch’s ornamentation includes six fluted columns connected by a decorative iron handrail and an entablature complete with a cornice, dentils, and an unadorned frieze. The doorway retains an original segmental-arched surround with keystone, beneath which is a panel that mimics a fanlight. The door itself, however, is a replacement.

The remainder of the exterior is finished in straightforward fashion. The flanking residential and rear dining room/kitchen wings terminate at brick gables marked only by cornice returns and small diamond-shaped ventilators. The ends of residential wings are further edged by flat-roofed extensions that period newspaper articles identify as sunrooms. The casement windows of the southern sunroom may be the only original ones left at the building. Two tall, plain chimney stacks with concrete coping pierce the ridge of the gable roof at the arrow’s shaft, marking the locations of the assembly room fireplace and the kitchen. A third exterior-end chimney climbs the south gable of the former superintendent’s quarters, which terminates at another flat-roofed sunroom.



Figure 163. Looking west at front elevation of County Home’s former residential block, left; annotated plan and building footprint, right (source: County Engineering Solid Waste Division)



Figure 164. Looking northeast at former residential block’s principal entry and northern wing



Figure 165. Looking north at former residential block’s southern wing with principal entry at left and original sunroom at right



Figure 166. Looking northwest at side and rear of former residential block’s southern wing, to left, and south side of rear service ell and superintendent’s wing, at right



Figure 167. Looking southwest at superintendent’s wing, at left, and rear of former residential block’s northern wing, to right

The interior floorplan of the building is divided into three primary sections, as suggested by the building's overall winged form (Figure 163, at right). A 1934 article from the *Asheville Citizen* (June 17, 1934) states the building was originally comprised of seventeen inmate rooms, three caretaker rooms, a reception hall, dining room, and kitchen. The original central mass and its respective additions held the common living spaces and the northern and southern wings were divided into the "inmate" rooms by gender.

Although the building's use has changed over the years, much of the interior floorplan of the County Home remains intact (Figure 168 through Figure 169). In the south wing, each pair of rooms has been combined into a single room through the removal of partition walls, but doors and windows, as well as the corridor, remain. In the north wing, the partitions have been removed to create one large public room. The reception room, dining room, and kitchen spaces have neither been divided nor combined. In addition to its overall form, the building retains a great deal of original material including wood flooring, some original partition doors with rectangular transom lights above, modest Colonial Revival-style window and door surrounds, and some original door hardware. An original rough-cut stone fireplace including a brick firebox and stone hearth remains in the reception room.



Figure 168. Stone mantel in common room



Figure 169. Corridor of former residential block south wing, at left, and view of corridor from central common room, at right

Former washhouse [contributing building]

The building situated a short distance off the northern corner of the County Home was built with the home as its washhouse (Figure 170 and Figure 171). (The newspaper articles describing the home's opening indicate that this building was not erected as the caretaker/superintendent's home, as was suggested during the inventory (Wiggins 2017).) The side-gabled, brick building is linear in plan and includes a late twentieth-century, shed-roofed, CMU addition. The roof is clad in asphalt shingles and features a centrally located, short-stack, brick chimney on its ridge. Four windows are found on the building's northwestern side; however, it is difficult to discern which are original openings as all feature replacement windows. The ghost marks of a fifth window opening are also discernable on this side of the building. A window is found on the northeastern and southwestern gable ends of the building in addition to larger vinyl shop doors. Pierced brick ventilators in the gables match those of the home. Three new windows are located on the southern side of the building as part of the shed addition. The interior plan of the building was indiscernible.



Figure 170. East side and north gable end of former washhouse



Figure 171. West side and south gable end of former washhouse

Shed [outside of proposed NRHP boundaries]

East of the former washhouse and the rear of the home—and separated from them by a chain-link fence—is a modern shed that only appears on the most current aerial maps of the site (Figure 172). A three-walled, gabled building entirely clad in metal, it is used for machinery storage. Its east side elevation is open, to facilitate movement of machinery in and out of it. Modern, metal, and associated with the landfill rather than the former County Home, the building would not contribute to the property and has been excluded from its proposed NRHP boundaries.



Figure 172. Looking south at shed, county home, and washhouse

History

In 1925 the State Board of Charities and Public Welfare produced Special Bulletin No. 4 titled *Poor Relief in North Carolina* (Bureau of Institutional Services). The publication identifies steady if slow improvements to the state's irregular network of county homes and other poor-relief institutions since 1919 and promotes further progress. It opens the section on "The County Home Farm" with the observation that:

The poorhouse of the early days of the State's history to a very much greater extent than the county home of today, was the dumping ground for all the misfits of society. It was the direct descendant of the old English workhouse. It was maintained quite as much for the purpose of disposing of certain undesirable classes of the population as of caring for the indigent (Bureau of Institutional Services 1925:7).

It noted that the state's County Homes "still include every type and condition of building from wretched shacks and log cabins to creditable and even elaborate and expensive plants" (Bureau of Institutional Services 1925:8). Progress had been made, it concluded, but work remained to be done.

During the 1920s Henderson County's Board of Commissioners bought a site for a new County Home on which they planned to erect a \$50,000 structure financed by bonds. The plan stalled and then the economic collapse of the late 1920s made its financing infeasible. In 1933 the board decided to pursue construction, but still confronted the apparent impossibility of funding it: the county had defaulted on its debts and could not borrow money, and many of its citizens were delinquent in paying their taxes. The board, however, came up with an innovative solution. According to the *Asheville Citizen-Times* of June 17, 1934:

The commissioners had put these taxes down as so much uncollectable assets, but the possibility remained that some of the delinquent taxpayers would be glad to work off these taxes if they had an opportunity. It was decided to build the home by asking those who were behind in their taxes to contribute either labor or materials. When the call was sent out, the commissioners were besieged [sic] by citizens eager for a chance to work off their taxes, and as a result they were able to complete the entire structure on back

taxes with the exception of the heating and plumbing system. The money for this was raised by selling the lot which the former board had bought.

Instead of changing the site, the home was built on the same 120-acre tract on which the old home stands. . . .

Construction began last October while many were working off back taxes on the actual construction of the building, a strong force of relief workers were busy on the grounds, landscaping it, setting out shrubbery, and getting it into shape.

In addition to the home, a barn, 32 by 40 feet, has been built and a wash house and grain storage bin are now under construction. . . .

After eight months of work the building was finished and on June 4, Eli Plemmons, superintendent, moved a group of eight inmates into the new home which seemed, one said "like a palace."

The effort was considerable. According to the commissioner in charge of construction, 300 men worked on the building. In addition to common laborers, they included about 100 carpenters, 25 brick masons, 25 painters, 20 plasterers, and 15 plumbers. Their pay rate ranged from \$2.00/day for common laborers to \$7.50/day for masons. The newspaper reported that "It is believed that the larger part of these taxes would never have been collected in actual cash. The work contributed toward back taxes amounted to a little above \$300,000" (*Asheville Citizen-Times*, June 17, 1934) (Figure 173).

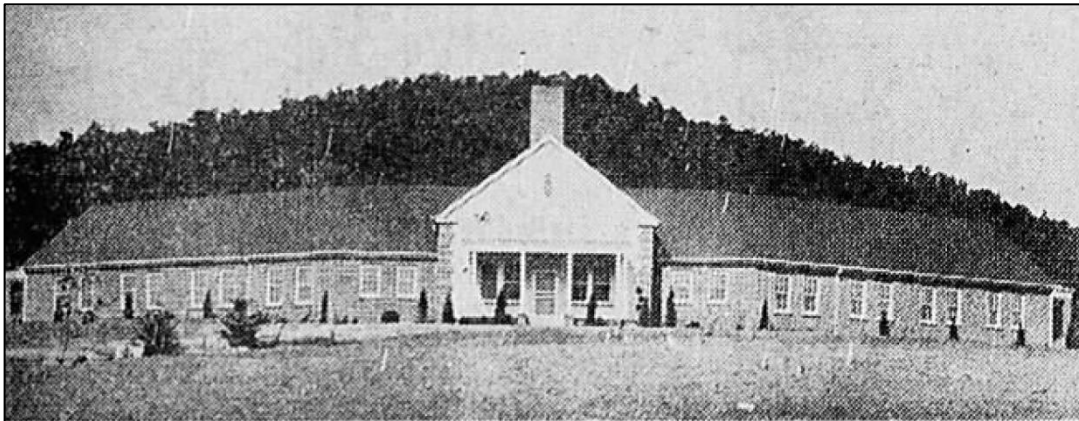


Figure 173. Henderson County Home at 1934 opening (*Asheville Citizen-Times*, June 17, 1934)

The novelty of the county's approach, and its effect, if any, upon civil works projects in North Carolina and elsewhere during the Great Depression was not determined. However, both the *Fort Lauderdale News* (June 19, 1934) and the *Palm Beach Post* (June 21, 1934) reported favorably on the approach, in pieces based upon a story published in a third Florida newspaper, the *St. Petersburg Evening Independent*.

The Henderson County Home ceased operating in its original function in the mid-/late twentieth-century. Prior to 1980 it became home to the County Parks and Recreation Department's Stoney Mountain Activity Center. Subsequently, the County Engineering Solid Waste Division shifted its offices to the south residential wing and then took over the building. As part of its conversion to other uses, the building received new electrical systems and windows around 2002-2003 (Wiggins 2017).

National Register of Historic Places Evaluation

The little-altered Henderson County Home retains medium levels of integrity with regard to its material, design, and workmanship. Although adapted over time to serve a more modern function as a civic office building, the Henderson County Home retains its overall footprint and design, in addition to a large percentage of original materials. The building stands in its original location, however, its setting and feeling has been slightly compromised due to its loss of supporting buildings (excepting the washhouse). These elements of integrity have been further negatively impacted by the construction of unrelated Henderson County facilities (county landfill, bus garage, humane society building, etc.). These elements to contribute to an overall medium level of integrity with regard to the building's overall integrity of association.

North Carolina HPO files included 14 extant County Homes in the state, not including Henderson County's. Of these, the Carteret and Halifax Homes are listed in the NRHP, the Sampson County Home has been determined eligible for listing, and the Homes in Johnson, Perquimans, Beaufort, and Wake counties are included on the state's Study List of potentially NRHP-eligible resources (see table below). Both for their historical importance and their architecture, County Homes are clearly significant resources that are NRHP-eligible under Criterion A and, in all likelihood, Criterion C, if they retain the requisite level of integrity to support such significance (Figure 174 and Figure 176). The Henderson County Home was found equal to these examples in its integrity and significance.

NC HPO-IDENTIFIED EXTANT COUNTY HOMES			
Site Name/Date where listed	County	Site ID	Status and date
Glenwood Rest Home (County Home)	Richmond	RH-0677	Surveyed only [SO]
(former) County Home	Surry	SR-0499	SO
Northampton County Home/1924	Northampton	NP-1037	SO
(former) Halifax County Home and Tubercular Hospital/1923	Halifax	HX-0021	NRHP, 1985
Sampson County Home	Sampson	SP-0651	DOE, 2004
Rockingham County Home	Rockingham	RK-1279	SO
Washington County Home	Washington	WH-0424	SO
Johnson County Home	Johnston	JT-0825	SL, 2005
Perquimans County Home/ca.1900	Perquimans	PQ-0181	SL, 1998
Rutherford County Home	Rutherford	RF-0166	SO
Pitt County Home	Pitt	PT-1408	SO
Beaufort County Home/Ca.1910, 1950, 1960	Beaufort	BF-0780	SL, 2012
Carteret County Home/1914	Carteret	CR-0226	NRHP, 1984
Wake County Home	Wake	WA-3205	SL, 1991



Figure 174. Postcard of Wake County Home, built 1913-1914, at left (source: North Carolina Postcards, UNC-CH); former home, now Monarch Community Health, 2017



Figure 175. 2014 photograph of Beaufort County Home, built ca. 1910, at left; ca.2017 image with new road to north under construction, at right (source: Google)

The Henderson County Home is recommended as eligible for NRHP listing under Criterion A in the areas of Health/Medicine and Social History for its significance as a former North Carolina County Home. As noted above, seven North Carolina County Homes are NRHP-listed, NRHP-eligible, or included on the state Study List. As with these resources, the Henderson County Home is directly associated with early twentieth-century efforts in North Carolina to better the care of the poor in each county through the construction of modern County Homes. Adopting the words of the Raleigh historic property report for the Wake County Home, the Henderson County Home “is a tangible reminder of the development of social services in . . . North Carolina counties over the past hundred years. It represents the county’s attempt to aid the indigent, aged, and disabled when no other options existed” (Raleigh Historic Development Commission 2008). The Henderson County Home is also believed to be NRHP-eligible under Criterion C for its architecture. Its careful design—which included separate wings for male and female residents, common spaces, and a superintendent’s wing—coupled with its Colonial Revival-style architecture, embodies the distinctive characteristics of the new breed of enlightened County Homes erected during the early/mid-twentieth century in North Carolina. The property has no known association with significant persons and is unlikely to yield important historical information. It is therefore is not recommended as NRHP-eligible under Criterion B or D.

HENDERSON COUNTY HOME		
Element of Integrity	Level of Integrity	Assessment
Location	High	Stands on place where constructed.
Design	Medium	Retains form and footprint, including sunrooms at ends of residential wings; Colonial Revival-style porch, pediment, entry, brickwork, quoins, and surrounds; and stone fireplace, wood floors, and some interior doors and transoms. Windows changed and north wing has lost corridor and rooms.
Setting	Medium	Immediate setting to west front and south and east is landscaped, but former farmland is gone, replaced by county landfill and institutional buildings.
Materials	Medium	As noted at design, most materials intact, but windows changed and corridor and rooms of north wing removed.
Workmanship	Medium	As noted at design, workmanship largely intact, but windows changed and corridor and rooms of north wing removed.
Feeling	Medium	Retains physical elements of integrity largely intact, but setting altered. Retention of most of floor plan contributes to integrity of feeling.
Association	Medium	Retains physical elements of integrity largely intact, but setting altered. Retention of most of floor plan contributes to integrity of association.

Proposed National Register of Historic Places Boundary

The Henderson County Home was erected on a 112-acre, county-owned parcel that originally included associated farmland. Most of this property is now occupied by the county landfill and other governmental resources (Figure 176). The Home’s current parcel is 6.4 acres, some of which is occupied by a gravel lots associated with the landfill. The recommended NRHP boundary is therefore smaller than both the original parcel and the current parcel. The boundary is recommended as encompassing approximately 4.4 acres of the current parcel (# 9904094) (Figure 177). This includes land historically associated with the County Home and excludes land that has been much altered. It largely follows the property line, but excludes a piece of one gravel lot at the parcel’s southwest corner and a second gravel lot at the northeast. The boundary line at the northeast partially follows a modern fence line that helps delineate the second lot. At the southeast a tiny section of the parcel line parallels Stoney Mountain Road. The boundary here does not extend into the drainage ditch and right-of-way maintained by NCDOT, which have lost their historic character.

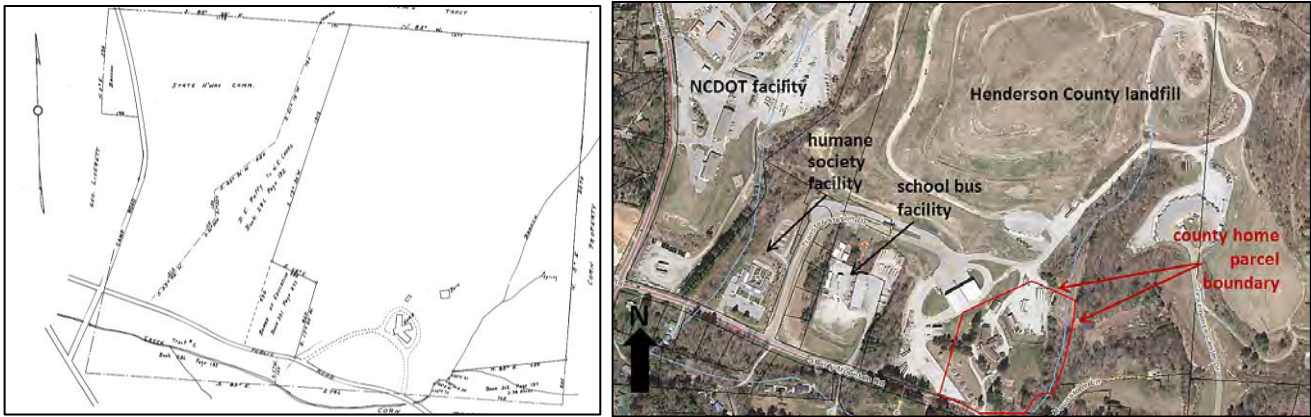



Figure 176. At left, 1957 map (Plat Map C/Page 8) of government-owned property northeast of Stoney Mountain Road and Mountain Road, with County Home, washhouse, and no-longer-extant barn near bottom; at right, modern institutional setting dominated by landfill



Figure 177. Proposed NRHP-eligible boundaries outlined by dashed yellow line

(#59) Henderson County Public Schools Bus Garage

	Henderson County Public Schools Bus Garage
	HN-1972 [AECOM survey # 59]
	812 Stoney Mountain Road, Hendersonville vicinity
	REID/Parcel # 9904073 PIN # 9650618525
	Ca. 1955
	Recommended not eligible for NRHP listing

Description

The Henderson County Public Schools Bus Garage sits north of Stoney Mountain Road amidst government-owned industrial parcels dominated by the county landfill. Its 2.95-acre, rectangular parcel is largely paved and reached by a paved drive. To the building’s west stand an open metal canopy above gas pumps and a modern, metal storage building (Figure 178).



Figure 178. Site plan showing Henderson County Public Schools Bus Garage

The site’s main resource—the bus garage—is built of concrete-block and brick. It is a linear building about 160-feet long and 50-feet deep. Its low-pitched gable roof is clad in metal and supplemented, at the narrow southern elevation, by a brick, stepped, parapet wall with a tiny, engaged, chimney stack. The main block is comprised of eight bays on its east and west sides. The first (southernmost) bay of these sides holds an original set of six-over-six-over-three metal casement windows. An identical window treatment marks the southern elevation. A haphazard assortment of garage doors and metal windows mark the remainder of the east and west elevations. Ghost marks and infill indicate numerous different opening configurations over the years. A low, flat-roofed, masonry room extends from

block's southwest corner. Attached to the north, a flat-roofed wing taller than the main block obscures a parapet wall. A later addition, it is the facility's bus-painting bay (Figure 179 through Figure 183).



Figure 179. South elevation of garage; note open metal canopy over gas pumps, at left



Figure 180. West and south elevations of garage with landfill rising to rear



Figure 181. North and east elevations of garage; note later, taller, bay at right (north)



Figure 182. East and south elevations of garage



Figure 183. Looking northwest at metal storage building, at left, fuel pump canopy, at center, and corner of garage, at far right

The garage interior is almost completely open in plan, creating a large workshop. Concrete masonry unit blocks form the end walls of the main block, separating it from the north and south extensions. The ceiling is clad in corrugated metal panels, with light-framed, steel-arched trusses spanning the interior of the building. According to two garage employees, the trusses were brought from Pope Air Force Base in eastern North Carolina around 1952 and reused for construction of the garage (Grasso 2017 and Klumpp 2017). However, as noted at the history below, the building dates from ca. 1955 and the limited historical record makes no mention of reused trusses. The trusses may look much like those in use at Pope at the time, but were not taken from the base (Figure 184 and Figure 185).



Figure 184. Garage interior with north wall, beyond which is later-added painting bay



Figure 185. Garage interior, detail of trusses

History

Glenn Marlowe, the assistant to the Henderson County superintendent of schools in the 1950s, recalled the genesis of the school bus maintenance facility in the county when interviewed in the 1970s (Edney 1979:104):

Nobody in this county will ever know our good fortune in having Pete Youngblood on the school board. He owned an auto dealership out in Fletcher. When he discovered the total lack of organization and maintenance for the school bus fleet, he, on his own, persuaded the county commissioners to give us four acres of land in the old County Home property and authorization of a small fund to build a garage, buy tools, hire and train mechanics, and set up a routine maintenance program. . . .Pete did all that on his own. Didn't charge the county a penny for all the work he did.

Lloyd Cornelius "Pete" Youngblood was the owner of the Fletcher Motor Company and chaired the Henderson County School Board from 1954 to 1970 (Ruscin 2016; Henderson County Education Foundation n.d.). From 1950 through 1990, Glenn Marlowe was a teacher, principal and, ultimately, county superintendent of schools (Hendersonville *Times-News*, September 22, 2013). Both men have been included in the Henderson County Education Foundation's Hall of Fame.

In 1954, when Youngblood started his long chairmanship of the county school board, the board acquired the parcel for the garage from the Henderson County Home (Henderson County Deed Book 331/Page 277) (Figure 186). This conforms with the ca. 1955 date of construction assigned to the garage by county tax records. The building continues in use as the school bus maintenance facility.

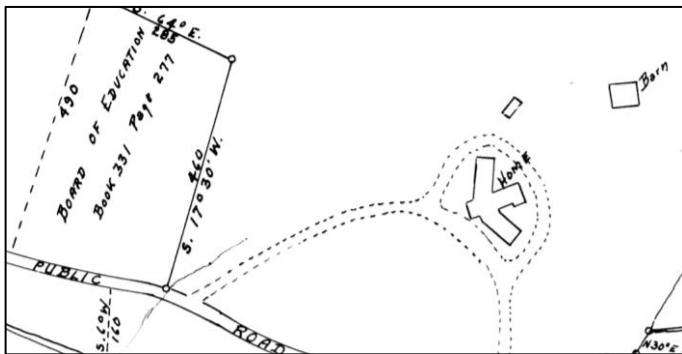


Figure 186. Detail of 1957 map (Plat Map C/Page 8) showing garage tract and portion of County Home parcel from which it was carved

National Register Eligibility Evaluation

Due to the many alterations to its bays and the addition of a large block to its rear, the Henderson County Public Schools Bus Garage is not believed to retain sufficient integrity to support NRHP listing under any of the NRHP's Criteria. A review of the NC HPO files indicated that large service and repair garages are found throughout the state. The form is common and does not notably vary whether a garage was designed for bus or truck (or largely even car) repair. It also does not vary if the facility is privately owned or in the hands of a municipality or county. These buildings appear to almost invariably be sided in brick and of masonry construction. They are one-story tall with a flat or curved roofs supported, in the case of the larger examples, by trusses. They are functional with large bays

provided for ingress and egress. And they are simply finished, with limited stylish ornamentation or finish. Examples include the following resources (Figure 187 through Figure 189).

The Carolina Coach Garage and Shop (WA-4162) in Raleigh is a one-story, rectangular, brick-clad, masonry building with a parapeted front elevation and a truss-supported roof. Built in 1926 as a repair facility for a private bus company, it was NRHP listed in 2009 as significant under Criterion A for its association with intercity busing. The building's roof was damaged by a tornado in 2011, but was already deteriorated when it was NRHP listed.



Figure 187. Carolina Coach Garage and Shop, rear elevation in 2008, at left (source: NRHP nomination), and front elevation in 2017, at right

Durham's former City Garage Yard and Fire Drill Tower (DH-0123), built between 1927 and 1950, historically functioned, in part, as a bus maintenance facility. As with the Raleigh building and the Henderson garage, its maintenance section is one-story and brick with a large open span supported by trusses. It was NRHP listed in 2000 under Criterion A for its contributions to community planning and development in the city and under Criterion C as a utilitarian building with distinctive Romanesque and Period Revival detailing. The former US Post Office Garage (DH-3480), also in Durham, is not individually significant, but contributes to the Foster and West Geer Streets Historic District (DH-2864), which was NRHP listed in 2013. A large, one-story, flat-roofed, brick building, it was constructed about 1963 as a post office garage with service bays for repairing postal trucks.



Figure 188. Former City Garage Yard and Fire Drill Tower, at left, and former US Post Office Garage, at right, both in February 2017 (source: Google)

A former Bus Garage (MK-3277) in Charlotte was identified as a contributing building to the NRHP-eligible Seaboard Street Historic District (MK-2658) in 2012. It is a brick and concrete-block, flat-

roofed, one-story, functionally designed building, that functioned as a repair facility. It dates from ca.1932.



Figure 189. Former Bus Garage in Charlotte, 2012

The Henderson County Public Schools Bus Garage is not believed to be significant under any of the NRHP Criteria and is not recommended as eligible for listing in the NRHP. The ca. 1955 building has no known association with any notable historic events or individuals. A school bus garage is not inherently a significant resource and Pete Youngblood, who was instrumental in the garage’s construction, is not a person important in our history. The garage is therefore not believed to be significant under either Criterion A or B. The garage is a standard industrial-type building of little architectural note; it is also not an uncommon building type and is heavily altered. It is further not believed to have the potential to yield important information on the basis of its appearance or construction. It is therefore also not recommended as NRHP-eligible under Criteria C or D.

HENDERSON COUNTY PUBLIC SCHOOLS BUS GARAGE		
Element of Integrity	Level of Integrity	Assessment
Location	High	Stands on place where constructed.
Design	Low to Medium	Retains original central brick section with metal trusses supporting roof. Bays on both long elevations much-altered through replacement or shifting of doors and windows, though, and large bay for painting added to north elevation.
Setting	Low to Medium	When built, County Home to north and east was a farm. Garage now framed by governmental buildings and landfill that looms to north.
Materials	Low to Medium	Retains brick walls and metal truss roof, but much-altered through replacement or shifting of doors and windows and addition of large bay for painting at north elevation.
Workmanship	Low to Medium	Retains brick walls and metal truss roof, but much-altered through replacement or shifting of doors and windows and addition of large bay for painting at north elevation.
Feeling	Low	Intact location and altered setting coupled with altered physical elements of integrity result in low level of integrity of feeling.
Association	Low	Intact location and altered setting coupled with altered physical elements of integrity result in low level of integrity of association.

(#97) James R. and Jane C. McCarson House



James R. and Jane C. McCarson House
HN-1973 [AECOM survey # 97]
2839 Haywood Road, Hendersonville vicinity
REID/Parcel # 9934663
PIN # 9650504771
Ca.1890-1910
Recommended not eligible for NRHP listing

Description

The James R. and Jane C. McCarson House stands on a 2.11 acre lot elevated above Haywood Road (Figure 196). The largely wooded site contains only the house, although aerial photographs show a large building on the site—either a house or barn—that was removed within the past ten years. The house’s front (east) elevation faces the road but, due to the grade and a row of trees, is largely hidden from sight.



Figure 190. Site plan of James R. and Jane C. McCarson House

The one-and-a-half-story house’s original block is three bays wide and two rooms deep (Figure 191 through Figure 196). Built of frame, it is clad in novelty siding and raised on stone piers. Its altered standing-seam metal roof was originally high-hipped or pyramidal. Its centered front entry now holds a modern door and sidelights. The Craftsman-style, three-over-one, double-hung windows to either side of the entry, though, are original. The portion of the front porch that extends across the front elevation, supported by six boxy columns, also appears to be original. Sometime after construction, during the first third of the twentieth century, the porch was extended to wrap around the house’s north side. This addition can be seen through an extension of the porch’s cornice and the addition of exposed rafter tails. The decorative, Craftsman-style, geometric balustrade was probably added at this time. A continuous, CMU-block foundation now supports the porch. Along with the extension, a wheelchair

ramp featuring the same decorative balustrades as the porch was added to the house's north side. It was likely the necessity of the ramp that prompted the reconfiguration of the porch.

A one-story, frame, gable-roofed extension and a one-story shed-roofed addition cross much of the house's rear (west) elevation. The weatherboarded ell is raised high on stone piers supplemented with CMU blocks. Its roof, like that of the porch addition, features exposed rafter ends, which suggests it may also have been an early addition. A chimney stack rises from the ell's roof. Its windows are not original. The shed-roofed addition to the ell's south side may once have been an open porch. It retains exposed rafter ends and is weatherboarded, but its windows have been replaced with one-over-sash. The south side elevation of the house is also marked by later one-over-one-sash. However, it retains an original, wide friezeboard beneath its eaves, which is also visible at a small section of the rear elevation

Additional changes to the house are apparent at its roof. The hip-roofed front and rear dormers retain paired three-over-one sash and wide friezeboards like those of the main block, indicating they are original. The larger dormers facing south and north, however, are later additions. Due to the size and height of these dormers, the house's roof had to be lifted to create a double-stacked hip. The large dormers may have been added with the porch extension. Each holds four modern, one-over-one, double-hung windows. The remnant of a chimney stack, cut off at the ridge, is visible between them.

The interior of the house could not be viewed, other than a glimpse of the front hall through one of the sidelights. Its features were hidden by numerous boxes and other items stored in the hallway and on the stairs. During repeated visits no one was found at home or on the grounds. The house has in all likelihood been vacant for a number of years.



Figure 191. South side and east front elevations



Figure 192. East front and north side elevations; note rafter tails at north-facing section of porch



Figure 193. North side elevation with wheelchair ramp in foreground



Figure 194. North side and west rear elevations



Figure 195. West rear and south side elevations



Figure 196. South side elevation

History

This house was likely built by James R. McCarson (1848-1925) and his wife, Martha Jane Corn McCarson (1849-1935), between about 1890 and 1910 (see <https://www.findagrave.com> and https://www.myheritage.com/names/julia_mccarson). This date conforms with its physical appearance and census records, and the ca. 1905 construction date assigned by tax records. In 1900 the McCarsons were living in the western part of Hendersonville Township, in which this house is located. They occupied the same property in the 1910 census and, with their names listed slightly differently, the 1920 census as well. (The 1880 census places the McCarsons in Crab Creek Township to the south and the 1890 census does not survive). The 1920 census identified James as a general farmer and his wife, “Mary J.,” as a housekeeper. (The McCarsons are buried next to each other in the nearby McCarson Cemetery.)

In a deed dated 1920, James and Jane McCarson transferred seven acres at Haywood Road and the property line of G.P. Liverett to Ruth Jones for \$100 (Deed Book 189/Page 56). Ruth McCarson Jones (1894-1931), their youngest child, had married Carl Lafayette Jones (1891-1975) the previous year. Their wedding notice stated they were to live in Flat Rock, where Carl Jones was from (*Asheville Citizen-Times*, March 23, 1919). The seven acres included the current 2.15-acre parcel on which the house stands, the 2.96-acre parcel to its north and, apparently, roughly two additional acres further to the north, bordering on the current Liverett Drive, or encompassing a watercourse just to the west (see Deed Book 718/Page 861 (1988) and Page 815 (1988)). The house was standing and occupied by the McCarsons when the deed was drawn, for it includes the proviso, “I, Jas. McCarson to hold possession while I live.”


In 1929 the Joneses took out a \$500 mortgage on the house lot and the lot to the north (Henderson County Mortgage Book 127/Page 288). Their bank failed in 1930, Ruth Jones died in 1931, and by 1933 the property was in the hands of the Laborers Building and Loan Association (Deed Book 204/Page 331). In 1934 the association sold the property to Frances W. Thomas (Deed Book 210/Page 229). In 1944 Thomas and his wife, Frances (identified as residents of Dade County, Florida) in turn transferred it to Roscoe and Thelma Stepp (Deed Book 254/Page 87). Roscoe Eulas Stepp (1905-1976) predeceased his wife, Thelma Pauline Myers Stepp (1916-1985), who died intestate. Heirs Clyde Roscoe Stepp and Ruth S. Blackwell acquired the house after her 1985 death. In 1988 Clyde transferred his interest to Ruth, who remains the owner of record (Deed Book 718/Page 861). The house currently appears to be vacant.

National Register Eligibility Evaluation

The James R. and Jane C. McCarson House is not believed to be significant under any of the NRHP Criteria and is therefore not recommended as eligible for listing in the NRHP. The house has no known association with any notable historic events or individuals. It is therefore not believed to be individually NRHP-eligible under either Criterion A or B. It is not believed to retain sufficient integrity to support NRHP listing under Criterion C as a significant representative of a turn-of-the-century dwelling. Its many alterations include replaced windows and front entry, the extension of a porch along its north side, and a reconfigured roof with two large, added dormers. The house is further not believed to have the potential to yield important information on the basis of its appearance or construction. It is therefore not recommended as NRHP-eligible under Criterion D.

JAMES R. AND JANE C. McCARSON HOUSE		
Element of Integrity	Level of Integrity	Assessment
Location	High	Stands on place where constructed.
Design	Low to Medium	Retains original principal block with novelty siding, front porch, and some sash intact. Its many alterations include replaced windows and front entry, the extension of a porch along its north side, and a reconfigured roof with two large, added dormers.
Setting	Low to Medium	Parcel is undeveloped, but development from 1960s to present is apparent on all sides.
Materials	Low to Medium	Retains original principal block with novelty siding, front porch, and some sash intact. Its many alterations include replaced windows and front entry, the extension of a porch along its north side, and a reconfigured roof with two large, added dormers.
Workmanship	Low to Medium	Retains original principal block with novelty siding, front porch, and some sash intact. Its many alterations include replaced windows and front entry, the extension of a porch along its north side, and a reconfigured roof with two large, added dormers.
Feeling	Low	Intact location and much-altered setting coupled with altered physical elements of integrity result in low level of integrity of feeling.
Association	Low	Intact location and much-altered setting coupled with altered physical elements of integrity result in low level of integrity of association.

(#98) McCarson Cemetery

	McCarson Cemetery
	HN-1974 [AECOM survey # 98]
	Adjacent (north of) 170 Mistletoe Trail, Hendersonville vicinity
	REID/Parcel # 9907064
	PIN # 9559588656
	Early nineteenth century to present
Recommended not eligible for NRHP listing	

Description

The McCarson cemetery sits on a one-third acre parcel nearly enveloped by the twentieth-century Creekside Development (Figure 197 through Figure 202). The house to its immediate south is clearly visible from it; other houses in the development can be glimpsed past its tree-edged lot. The cemetery is reached from a small, cleared, public space within the development. This lot also includes the ca. 2005 stone stairs that lead up to the cemetery. The wood sign identifying the cemetery also dates from ca. 2005. The graveyard includes about 22 fieldstone markers, eight unmarked graves, and 16 marked by headstones. Of the graves with headstones, four date from the nineteenth, eight from the twentieth, and four from the twenty-first century. The cemetery is in good repair. It is comprised of mostly short unmarked fieldstones. The two earliest markers—Mary Richardson’s of 1823 and Isaac Evans of 1824—are headstones with curvy baroque tops. The headstones from the nineteenth and twentieth centuries are straightforward with rectangular, segmental, barely curved, or angled tops. None are ornate, but a few carry incised floral designs in their tympanums.



Figure 197. Left, site plan of McCarson Cemetery; right, open space lot of Creekside Development with ca. 2005 stairs leading up to cemetery



Figure 198. Ca. 2005 sign with twentieth and twenty-first-century markers to left



Figure 199. Fieldstones with house at 170 Mistletoe Trail to south



Figure 200. Earliest dated marker, headstone of Mary Richardson (1802-1823)



Figure 201. Headstone with simple floral carving placed ca. 1920 over the grave of N.J. Tessnear



Figure 202. Grave markers of James R. McCarson at far left and his wife, Jane, adjacent, dating from 1925 and 1935, respectively

History

The McCarson Cemetery, according to a newspaper article reporting a 2005 plan for cleaning and restoration, is one of Henderson County's oldest identified cemeteries. According to family descendants, its fieldstone or unmarked graves include those of David McCarson, Sr.—an early settler who received a land grant on Mud Creek in the late 1700s—and his son, Samuel. The two earliest marked graves are those of Mary Richardson (1822-1823) and Isaac Evans (1804-1824), who was from South Carolina's Newberry District. Two other marked graves date from the nineteenth century, those of David McCarson, Jr. (1785-1835) and James McCarson (1834-1862), a Civil War corporal. The cemetery's approximately eight unmarked graves and 22 fieldstone markers likely include other early burials. However, some of these mark the graves of individuals who died in the twentieth century and whose death certificates state that they were buried in the cemetery (see McCarson Cemetery entries at www.findagrave.com). Another eight marked graves (as recorded in 1994) date from the twentieth century and four burials occurred in the twenty-first century (Hendersonville *Times-News*, May 6, 2005; Henderson County Genealogical and Historical Society 1995:292-293; www.findagrave.com).

In 2005 McCarson family descendants entered into an agreement with the developer of the Creekside Development to open new access to the cemetery and help clean it up. The development had closed the old access road and one had to climb a steep overgrown bank to reach the graveyard. The cemetery's current appearance is largely a result of that effort. The 0.08-acre green area between it and Mistletoe Trail is designated as official open space and owned by the Creekside Homeowners Association (Deed Book 1499/Page 359 (2012)). The stone-block steps that lead from this open parcel to the cemetery

were donated by the developer around 2005. Also around 2005, family members cleaned the 0.38-acre cemetery parcel and put up the wooden sign that marks it. A few markers may have been stabilized around this time as well (Hendersonville *Times-News*, May 6, 2005).

National Register Eligibility Evaluation

Henderson County, North Carolina Cemeteries (Henderson County Genealogical and Historical Society 1995) records more than 65 church and 115 family cemeteries in the county. These range in extent from a few to hundreds of burials. As the recordation indicates, the McCarson Cemetery is early, but is joined by many other burial grounds with early nineteenth-century interments. Its range of dates and modest marker types also do not stand out in the county. The Ebenezer Baptist Church Cemetery within the APE holds about 1,400 graves (Figure 214). These include pre-Civil War unmarked fieldstones that are said to identify slave burials, as well as many hundreds of headstones from the mid-/late nineteenth century to the present that look much like those at the McCarson Cemetery. Moores Grove United Methodist Church Cemetery has more than 370 burials that range in date from the 1890s to the present (Figure 215). Its grave markers are similar to those at the McCarson Cemetery. Almost all of the markers in the modest cemetery to the rear of Clear Creek Road Mt. Zion Baptist Church at the northern edge of the APE are unmarked (Figure 216). They likely date from the early to late twentieth century.



Figure 203. Ebenezer Baptist Church Cemetery: fieldstones said to mark antebellum slave burials, at left, and broad range of later markers, at right



Figure 204. Moores Grove United Methodist Church Cemetery



Figure 205. Clear Creek Road Mt. Zion Baptist Church Cemetery

Although located on the grounds of a church, the Drake-Seagle Cemetery (addressed above) is a family cemetery (Figure 206). Its graves date from the mid-nineteenth century to the end of the twentieth. Almost all of them are marked by plainly finished, rectangular or segmental-arched, granite headstones. Comparable in size to the McCarson Cemetery, it holds about 25 burials behind a notable granite wall.



Figure 206. Drake-Seagle Cemetery

The McCarson Cemetery is not believed to be significant under any of the NRHP Criteria (and associated Criteria Considerations) and is therefore not recommended as eligible for listing in the NRHP. The cemetery has no known association with any notable historic events or individuals. It is therefore not believed to be individually NRHP-eligible under either Criterion A (and Consideration D) or Criterion B. It is not believed to be architecturally notable, as its markers do not display distinctive design features, but rather are straightforward examples of nineteenth, twentieth, and twenty-first-century headstones commonly found in Henderson County. It is therefore not believed to be NRHP-eligible under Criterion C (and Consideration D). The cemetery is further not believed to have the potential to yield important information on the basis of its appearance or construction. It is therefore not recommended as NRHP-eligible under Criterion D.

McCARSON CEMETERY		
Element of Integrity	Level of Integrity	Assessment
Location	High	Stands on place where constructed.
Design		Although the quality of their designs is not notable, the fieldstones and markers are altered only by wear.
Setting	Low	Cemetery parcel is undeveloped, but it is framed by modern development.
Materials	High	Although the quality of their materials is not notable, the fieldstones and markers are altered only by wear.
Workmanship	High	Although the quality of their workmanship is not notable, the fieldstones and markers are altered only by wear.
Feeling	Low to Medium	Location and physical design elements remain intact, but loss of setting compromises integrity of feeling.
Association	Low to Medium	Location and physical design elements remain intact, but loss of setting compromises integrity of association.

(#134) Allen-Jamison House

	Allen-Jamison House
	HN-0248 [AECOM survey # 134]
	3250 Haywood Road, Hendersonville vicinity
	REID/Parcel # 9960681 PIN # 9650434285
	Ca. 1916
	Recommended eligible for NRHP listing under Criterion C

Description

The Allen-Jamison House stands on nine-and-a-half acres northeast of Haywood Road/NC 191 between Hendersonville and Mills River. Modern subdivisions are located to the north, east, and south of the house. To the west are the NRHP-listed Moss-Johnson Farm, on the north side of Haywood Road, and the Rugby Middle School, on the south side of the road. The land on which the Allen-Jamison House sits is no longer cultivated, but is well maintained. The house stands in a clearing that is scattered with mature trees. In addition to the house, four outbuildings still stand on the parcel: a garage, a tool shed, a chicken coop, and a barn. These five resources were also the only ones on the property in 2000, when the house was previously surveyed.



Figure 207. Site plan of Allen-Jamison House

Allen-Jamison House

The form and appearance of the Allen-Jamison House are common to many late nineteenth and early twentieth-century rural North Carolina residences (Figure 208 through Figure 213). The symmetrically fashioned house is virtually unaltered, however, setting it apart from almost all of its peers. The house is one-and-a-half stories tall and two rooms deep. A large, centered, rear (northeast) ell—original to the dwelling—gives it a T-shaped footprint. The house’s wood frame is covered by weatherboards, which terminate at cornerboards topped by slender caps. Numerous carefully constructed brick piers raise it off the ground.

A gable-end roof with cornice returns tops the front block. The front (southwest) elevation is supplemented by a large, gabled dormer with cornice returns. Brick chimneys with intact corbeled tops are centered on the ridge of the front block between the dormer and the gable ends. (The presence of interior chimneys suggests that the house was not built until the early twentieth century; exterior-end chimneys are the rule at the county’s surviving nineteenth-century dwellings.) The gabled roof of the ell, also edged with returns, gives the house a cross-gabled appearance. An interior chimney stack penetrates this roof as well.

An original, deep, simply adorned porch crosses the three-bay-wide front elevation and wraps around half of the northwest and southeast side elevations. It is supported by plain square columns connected by equally plain stick balusters. Its wooden floor and beaded-board ceiling are original. Rusticated concrete-block stairs lead up to the porch and the front elevation’s central entry, which is flanked by two sets of side-by-side windows. The entry is original, with an intact wooden door with a window occupying its upper half and paneled sidelights with upper windows set at the same level. All are set in a simple classical surround marked by plain pilasters with slender caps. The paired bays to either side of the entry retain their original two-over-one, double-hung sash, as do the rest of the dwelling’s window bays. (The two-over-two windows in the ell gable and at an enclosed bay at the ell’s southeast porch are exceptions, although they too appear to be original.) All of the bays but for the slightly more ornate main entry are framed by simple, wide, wooden surrounds.

Two porches flank the sides of the ell. Both retain their original partial hipped roofs and plain square posts. A gabled extension to the end of the southeast porch is an early addition, if not original. The eaves between the ell’s main roof and the porch roofs were boxed in after 2000 (see photographs at Brown 2000:92). Probably done to address drainage problems, this is the house’s only notable alteration.

The centered front entry, symmetrical placement of the front block’s windows, and ridgeline interior chimneys indicate that the house has a center hallway with two rooms that share a chimney opening to either side. The interior of the house was inaccessible and all of its windows are shaded, preventing views inside. (The interior was also inaccessible and not available for viewing in 2000.) According to Tony Varnadore, a neighbor who has lived in the area for about 30 years who keeps an eye on the unoccupied dwelling, the interior, like the exterior, is essentially unaltered (Varnadore 2017). This could not be confirmed, however.



Figure 208. Southwest front elevation of house



Figure 209. Southwest front and southeast side elevations of house



Figure 210. Principal entry and dormer of house, at left, and front elevation and porch, looking northwest, at right



Figure 211. Southeast side and northeast rear elevations of house



Figure 212. Northeast rear and southeast side elevations of house



Figure 213. Northwest side and southwest front elevations of house; note garage at far left

Garage [contributing building]

Immediately to the house’s rear (northeast) stands a frame, single-car garage that is likely its contemporary (Figure 214). A gable-front structure, it is vertical-wood-sided and topped by a standing seam metal roof supported by exposed rafter tails. The building is currently utilized as a storage shed. It is little changed since 2000, when it was also used for storage.



Figure 214. Southwest front and southeast side elevations of garage; chicken coop at left distance

Chicken Coop [contributing building]

To the northwest of the garage is a shed-roofed, horizontal-board-sided chicken coop (Figure 215). The south side of the building is open and covered with chicken wire. A simple door of vertical boards is located on its east side. Like the garage, it appears to be contemporary with the house.



Figure 215. Southwest and northeast (with door) elevations of chicken house

Tool House [noncontributing building]

Behind (northeast of) the chicken house is a tool house (Figure 216). It is a small, frame, shed-roofed structure clad in horizontal boards. According to Roy Jamison in 2000, the building was moved to the property by his uncle. Although it appears to be contemporary with the house, it is not recommended as contributing to the property due to its relocation.



Figure 216. Southwest and southeast (open) elevations of tool house

Barn [contributing building]

Vertical boards clad this gable-end barn, which appears to be contemporary with the house (Figure 217 and Figure 218). A standing-seam-metal roof with exposed rafter tails tops the building. The barn utilizes a double-crib plan with a central passage flanked by cribs. The cribs are divided into multiple horse stalls and have packed-dirt floors. A small hay opening on the southwest elevation above the building's principal door marks the loft. The barn retains crib doors closed by wooden latches, partition walls, stairs to the loft, and feed and storage bins.



Figure 217. Northwest side and southwest front elevation with stable door and hay loft opening; garage in distance at far right



Figure 218. Stairs to hay loft, at left, and feed bin in stall, at right

History

AECOM's predecessor, URS Corporation, included this house in a 2000 historic architectural survey report (Brown 2000:88-94). The report's history of the resource was the following:

When this house was first inventoried (Williams 1980), its owner, W.W. Jamison, reported that he believed it was built in 1914, possibly by a man named Woodson. Jamison had bought the property from Wachovia Bank in 1932. W.W. Jamison is now dead, but the property remains in family hands. Its current owner is his son, Roy Jamison, who believes the house was built about 1914 or 1915 (Jamison 2000). According to Mr. Jamison, the property was once owned by R.V. Leverett, who owned the adjacent National Register-listed Moss-Johnson Farm. Robert H. Leverett (alternately, Liverett) acquired the Moss-Johnson farmhouse, with 310 acres of land, in 1888 (Humphries 1986). Following his death in 1913 (Henderson County Deed Book 82, Page 105) his heirs divided his property. In 1915 (Henderson County Deed Book 87, Page 190) R.V. (or R. Vernon) Leverett sold a 70-acre parcel to O.B. Burroughs, who in turn sold it the following year (Henderson County Deed Book 91, Page 582) to J.L. Allen. Either of these men may have built the house, as may also have E.H. Luckett, who defaulted on it in 1930 (Henderson County Deed Book 124, Page 462), placing it in the hands of Wachovia Bank.

W.W. Jamison acquired the Jamison House in 1932 along with 70 acres of land. Jamison was not solely a farmer. Rather, he worked full-time for the Southern Railroad. He farmed his property to put food on his family's table. His son recalls a big garden and corn and hay in the fields to provide feed for the family's few pigs, cows, and horses. In addition to the property's four surviving outbuildings, he recalls other outbuildings, including a hog pen and privy. The parcel currently associated with the house is less than ten acres.

A second review of deed records and other sources suggests that this history is largely accurate, although a more accurate conjecture can be made of the house's likely builder. If it was erected in the mid-1910s, which is a reasonable date to assign based upon its appearance, it has a few possible candidates. R. Vernon Leverett (1870-1925) might have built it between 1913, when he inherited the property, and 1915, when he sold it. However, according to the deed of sale, in 1915 he was a resident of Ft. Worth, Texas. On the other hand, he was living in High Point at his death in 1925 and is buried in the nearby Mill Pond Cemetery in Rugby with his parents and siblings (Asheville *Citizen*, February 5, 1925). O.B. Burroughs is a less likely candidate, for he only owned the property between 1915 and 1916 and is recorded as having bought it for \$10 and sold it for \$42.

The almost certain builder is John L. (J.L.) Allen (1851-1933), even though he was in his 60s when he bought the land in 1916. Newspaper accounts show he lived in the area—at Mills River, Gypsy, or Rugby—all not far distant from the house and interchangeable as community descriptors (see for example Hendersonville *Western North Carolina Times*, January 25, 1901 and Hendersonville *French Broad Hustler*, September 10, 1914)). Most tellingly, he sold his Mills River farm, which included a "good residence" and corn mill, in late 1915 to a Pennsylvanian for \$10,000. The account of the sale states: "It is not known what Mr. Allen will follow in the future" (Hendersonville *French Broad Hustler*, October 7, 1915)." The following year, with a large amount of money at hand, he bought the 70-acre Haywood Road land. Subsequent newspaper accounts published during his eight-year tenure on the property identify him as living on Haywood Road (see for example Hendersonville *News of*

Henderson County, June 9, 1922). A 1923 story places Allen and his wife, Cleo Johnson Allen (1856-1938) on that road in an apparently substantial house (*Asheville Citizens-Times*, March 13, 1923):

Mr. and Mrs. J.L. Allen, who live on the Haywood Road in the Mills River section, celebrated their Golden Wedding anniversary last Sunday. About 60 relatives enjoyed a bountiful dinner in the dining room . . . An immense wedding cake . . . was placed in the center of the long table and was surrounded by lovely yellow jonquils, carrying out the color scheme of gold.

Not long after their anniversary, they moved from Mills River to Asheville, where in 1933 they celebrated their 60th anniversary (*Asheville Citizens-Times*, March 10, 1933) (Figure 219). Within two weeks of that celebration, J.L. Allen died at the age of 81 (*Asheville Citizens-Times*, March 26, 1933).



Figure 219. John L. and Cleo J. Allen on their 60th wedding anniversary in Asheville, 1933 (source: *Asheville Citizens-Times*, March 12, 1933)

(E.H. Lockett, who the 2000 report identified as a possible builder, is not a likely candidate. He did not acquire the property until 1925 and his bankruptcy in 1930 included 20 additional properties in Buncombe County. He was a real estate investor who was described in a 1919 newspaper account as a “capitalist of Chicago” (*Asheville Citizen-Times*, September 7, 1919).)

In 1924 the Allens sold the property to Mary L. Kokinos (Deed Book 130/Page 26), who with her husband, Gus, sold it to E.H. Lockett the following year (Deed Book 139/Page 469). The Kokinoses were apparently real estate investors. In the mid-1920s, for example, they bought three different properties in Asheville (*Asheville Citizen-Times*, April 5, 1925 and March 30, 1926). After E.H. Lockett defaulted on his investments in 1930, Wachovia Bank and Trust Company sold the property to Wilbur W. and Lena L. Jamison in 1932 (Deed Book 201/Page 252). It was subsequently owned and occupied by their son, Roy, who continues as its owner, although the house is currently vacant (but well maintained).

National Register of Historic Places Evaluation

The Allen-Jamison House, with associated resources, is believed to be eligible for NRHP listing under Criterion C as embodying the distinctive characteristics of a type of construction, that of a straightforward, traditional, late nineteenth/early twentieth-century house. Its period of significance is recommended as ca. 1916, the date J.L. Allen is believed to have built it. As the house has remained virtually unaltered since its construction, a single year rather than a date range is appropriate. The one-and-a-half-story dwelling retains its traditional center-hall, double-pile form with an original wraparound porch, central dormer, roofline and chimneys, and rear ell with two porches. It retains essentially all of its exterior form and features intact.

Compared to other houses in Henderson County with similar vernacular forms and dates, it is an exceptionally intact example of its type. The survey work of architectural historians Michael Ann Williams in 1980 and Clay Griffith in 2014 identified similar vernacular, one-and-a-half-story, single and double-pile houses, also of frame, in Henderson County. The late nineteenth-century Riley Wall House (HN-1274) in the Gerton community is a heavy-timber-frame, gable-end house with a full-façade porch. It was built with one pile, but a shed addition across its rear elevation expanded it to two. In spite of deterioration—which has led to far more material loss than at the Allen-Jamison House—in 2014 the house was determined NRHP-eligible under Criterion C for its architecture (Figure 220).



Figure 220. Riley Wall House (HN-1274): east front and south side elevations, at left, and east front elevation, at right

Two other modest turn-of-the-century houses, recorded by Williams, have center-hall plans and dormers that give them a full half-story, although they are single rather than double-pile. Siding, the ell, and some sash have been altered at the Frady House (HN-1146) in Fletcher, negatively affecting its integrity (Figure 221, at left). The less altered Frank Justus House (HN-1192) near Upward retains its weatherboards, sash, and porch, but has been extended to the rear (Figure 221, at right).



Figure 221. North front and east side elevations of the Frady House (HN-1146), left; south front and east side elevations of the Frank Justus House (HN-1192), right

The identified residence most comparable to Allen-Jamison is the W.A. Pryor House (HN-1240) near the community of Bat Cave, which was likely built in the late 1920s or early 1930s (Figure 222). The one-and-a-half-story, frame house is three bays wide and two piles deep. It has an interior stone chimney stack and front and rear dormers that give it a cross-gabled roof. It retains some original four-over-one windows, as well as German siding, and exposed purlin brackets. Its full-façade front (south) porch wraps around its west gable end. The house is not intact, however. Its alterations include replacement sash, the enclosure of one bay of the front porch, turned porch posts and balusters that do not appear to be original, and an ell added off of the east side elevation.



Figure 222. W.A. Pryor House, west side and south front elevations, at left; north rear and west side elevations, at right

Three of the four outbuildings associated with the Allen-Jamison house are believed to contribute to the property's integrity. Frame buildings that appear to be the house's contemporaries, they are the garage, chicken house, and barn. A fourth contemporary frame building, the tool house, is believed to be noncontributing, as it was reportedly moved to the site.

The property has no known association with historic events or significant persons, and is unlikely to yield important historical information. It is therefore not recommended as NRHP-eligible under Criterion A, B, or D.

It should be noted that in 2000 the property, under the name the Jamison House, was recommended as not eligible for NRHP listing. At the time, that recommendation was accepted. In the past 17 years, however, the county has lost many traditional resources. In an attempt to locate comparable houses, the similar dwellings Williams recorded in 1980 were identified for visits. A search of Google and Bing aeriels before fieldwork, however, revealed that many of these no longer stand. Further, many that survive have been altered. As the review of comparable resources indicates, the Allen-Jamison House is an unusually intact traditional dwelling. It is therefore now recommended as NRHP-eligible under Criterion C.

ALLEN-JAMISON HOUSE		
Element of Integrity	Level of Integrity	Assessment
Location	High	Stands on place where constructed.
Design	High	Virtually unaltered house with original center-hall-plan, double-pile form; weatherboard siding, cornerboards, and cornice returns; wraparound porch with posts and balustrades, and secondary ell porches; corbeled chimney stacks and cross-gabled roof; two-over-one sash and plain surrounds; and multiple brick foundation piers.
Setting	Medium	Modern subdivisions are located to the north, east, and south of the house. To the west is the undeveloped property of the NRHP-listed Moss-Johnson Farm and the largely open land of the Rugby Middle School. The house’s immediate setting—its seven-acre parcel—remains open with scattered trees and includes four contemporary outbuildings.
Materials	High	As noted at discussion of integrity of design, house retains almost all of its original materials. Its little-altered and intact condition is a testament to the quality of its original materials.
Workmanship	High	As noted at discussion of integrity of design, house retains almost all of its original workmanship. Its little-altered and intact condition is a testament to its original fine workmanship.
Feeling	High	Retains intact physical elements of integrity and location and a partially intact setting. Contemporary outbuildings bolster integrity of feeling.
Association	High	Retains intact physical elements of integrity and location and a partially intact setting. Contemporary outbuildings bolster integrity of association.

Proposed National Register of Historic Places Boundary

The recommended NRHP boundary of the Allen-Jamison House is its current 7.97-acre parcel (#9960681). This tract has been associated with the house since it was built around 1916 and follows the existing NCDOT right-of-way. It includes the contributing house, three contributing outbuildings, and one noncontributing outbuilding (Figure 223).



Figure 223. Resources indicated as contributing [C] or noncontributing [NC], at left; proposed NRHP boundary, the same as the parcel line marked in red, at right

(#135) Moss-Johnson Farm



Moss-Johnson Farm
HN-0043 [AECOM survey # 135]
3346 Haywood Road, Hendersonville vicinity
REID/Parcel # 9973285 PIN # 9650441397
Ca. 1874-1933
NHRP listed, 1987

Description, History/Significance, and NRHP Boundary

The Moss-Johnson Farm NRHP nomination summarizes its appearance as follows (Figure 224):

The Moss-Johnson Farm, now owned by the Henderson County Board of Education, lies on both sides of NC Highway 191, about four and one-half miles northwest of Hendersonville and two miles east of the French Broad River. Land to the south side of Highway 191 has been cleared and developed for the Rugby Junior High School. Fifty acres lying on the north side of the highway are preserved as the farm complex of the Johnson family and the site of the Moss-Johnson farmhouse, built between 1876 and 1880. The property fronts approximately 550 feet along the highway, known also as the Haywood Road. The farmhouse is sited on a gentle slope rising from the highway. Buildings are sited about five hundred feet north of the highway frontage, surrounded by pine seedlings, mature oaks and poplars and shrubbery. Before the turn of the century the farmhouse looked out over pasture across the old road, which was located on what is now the Rugby Junior High School property, to cleared ridges where the original owner, Oliver H. Moss, had planted tobacco.

About twenty feet from the southwestern corner of the property, a driveway leads up from the Haywood Road. Seven structures are grouped around a gravel turn area, including the brick dwelling completed in 1880, a clapboard summer house built in 1920, a granary and smokehouse built at the time of the brick house, a well with recent renovations, a barn built in 1923 and a small dwelling built in 1933. To the north, adjacent to the barn and clapboard house, is a large garden area, with the remains of any old vineyard, newly planted with walnut and poplar trees. Between the garden and barn a wagon road leads up the slope to the north some five hundred feet to a storage shed. To the east of the brick house lies a hen house and pig barn, both in disrepair. The entire property, with the exception of the garden area, lawn areas around the house and the gravel turn area, has been planted with pine seedlings by Mr Johnson.



Figure 224. Southwest elevation of Moss-Johnson House

The nomination's summary history/significance paragraph states:

The Moss-Johnson Farm Complex, in rural Henderson County, originated with the construction of a brick farmhouse, smokehouse and granary for Oliver H. Moss between 1874 and 1880. Although local tradition identifies Moss as a "tobacco planter," census records reflect a typically diversified farming operation. The builder, and probable designer, of the Moss-Johnson farmhouse was Riley Barnett, a local craftsman of considerable talent. The vernacular farmhouse stands out in its local context both due to its scale and substance, and due to several features that reflect an unusual level of knowledge and skill on the part of the builder. The surface of the two-story brick building was originally partially pargeted, tinted with brick dust and overdrawn with penciling to represent very regular, outsized brickwork. Sawn and pendant brackets ornament the eaves and porch, and arched-headed windows are set beneath segmental arches and corbelled, arched hoods. Riley Barnett is also given credit for the extensive walnut, chestnut and pine woodwork on the interior, including a refined three-story staircase with a retarditaire mid-century character. After the decline of the tobacco industry in western North Carolina, Moss sold the property to Robert Liverett, who farmed it until his death in 1913. Liverett's daughter, Sallie Johnson and her sons, Vernon and Leander, operated a boarding house for summer tourists on the property from about 1913 until 1958, and during that time additional buildings were added to the complex, including a separate frame house for boarders, a barn and another small dwelling. After 1970 the property was donated in several gifts to the Henderson County Board of Education for use as a farm museum.

Criteria Assessment:

A. The Moss-Johnson farm reflects the changing local economy in western North Carolina between 1880 and 1930--from agriculture (and particularly flue-cured tobacco culture) to a heavy dependence on tourism.

C. The house is significant architecturally in its local context as an unusually substantial brick structure displaying a curious mix of relatively sophisticated popular and vernacular details.

National Register of Historic Places Evaluation

No observable changes or alterations have been made to the Moss-Johnson Farm since its listing on the NRHP in 1987. It retains its integrity and continues to merit NRHP listing.

The Moss-Johnson Farm's NRHP boundary encompasses its current 22.88-acre parcel (#9973285) (Figure 225) and follows the existing NCDOT right-of-way.



Figure 225. Moss-Johnson Farm NRHP boundary (source: <http://gis.ncdcr.gov/hpoweb/>)

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IV. APPENDIX

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
1	None [9929438]	34 Chestnut Gap Rd	1960 [circa]	<ul style="list-style-type: none"> • 1-story, gable-end, stone ranch w/ stone garage and shed; house and outbuildings little altered • Ownership by Barnwell family and close proximity to Barnwell apple house and orchard suggest connection w/ important local agricultural endeavor 	<ul style="list-style-type: none"> • Intact, contemporary assemblage of resources potentially NR-eligible under (1) Crit. C as good local representative of popular mid-20th-c. architectural type and (2) Crit. A for association w/ county's significant apple industry • Recommendation: intensive-level assessment
2	None [300581]	2893 Chimney Rock Rd	1922 [likely dates from 1950s/early 1960s]	1-story, gable-end ranch w/ entry recessed behind engaged recessed porch and long carport at one gable end; appears little altered	<ul style="list-style-type: none"> • Intact, commonplace, mid-20th-c. residence that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance • Recommendation: no further assessment
3	House/HN1355 [9955323]	2886 Chimney Rock Rd	1880 [reasonable]	1-story, gable-end, single-pile, weatherboarded, frame house w/ off-center stone stack, 5-bay/2 door front elevation, 6/6 sash, 5-bay porch w/ later round posts; originally only 2 or 3 bays wide; early fieldstone retaining wall at front, large frame barn to rear	<ul style="list-style-type: none"> • Much of original and early fabric intact; potentially NR-eligible under Crit. C as local representative of mid/late 19th c. vernacular farmhouse; previous inventory identified it simply as "House" • Recommendation: intensive-level assessment
4	None [301320]	2869 Chimney Rock Rd	1922 [circa]	1-story, gable-front, brick bungalow w/ deep engaged porch; alterations include c.1960s metal porch posts, bay window and other sash	<ul style="list-style-type: none"> • Altered, workmanlike, early 20th-c. bungalow that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance • Recommendation: no further assessment

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
5	None [300059]	2861 Chimney Rock Rd	1950 [circa]	1-story-over-garage, concrete-block and frame, gable-end garage/apartment w/ 3/1 sash, asbestos shingles, later-added or replacement porch; on same lot with #6	<ul style="list-style-type: none"> ● Largely intact, unremarkable, mid-20th-c. garage/apartment that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance ● Recommendation: no further assessment
6	None [300059]	2859 Chimney Rock Rd	1920 [circa]	1-story, gable-end, frame, weatherboarded, traditional house type w/Craftsman-style elements including multipane/1 sash, exposed rafter ends and porch w/ paired posts on high brick piers; on same lot with #5	<ul style="list-style-type: none"> ● Intact, commonplace, early 20th-c. house that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance ● Recommendation: no further assessment <p>[Note: very intact; worth evaluating?]</p>
7	None [300665]	2853 Chimney Rock Rd	1939 [reasonable]	1-1/2-story, gable-end, frame cottage w/ 3 front shed dormers and rear shed dormer; alterations include replacement porch, bay window and vinyl siding	<ul style="list-style-type: none"> ● Altered, unremarkable, mid-20th-c. residence that appears to be not potentially NR-eligible due to loss of integrity and lack of historical, associational, and architectural significance ● Recommendation: no further assessment

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
8	None [300383]	2852 Chimney Rock Rd	1975 [likely c1915-25]	2-story, frame, gable-and-hip house w/ Craftsman-style features including 4/1 sash, stone and wood-shingle siding and shaped exposed rafter ends; alterations include vinyl siding at S end of W elevation, altered bays and vinyl siding at S elevation and likely enclosure of porch at N elevation	<ul style="list-style-type: none"> ● Altered, 2-story, early 20th-c. house w/ Craftsman-style features that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance ● Recommendation: no further assessment <p>[Note: different than most local houses of period]</p>
9	None [300173]	1 Apple Orchard Rd	1974 [main block may be earlier]	Apple Valley Travel Park main building – Large, 2-story, frame and concrete-block, gable-front resource w/ some 3/1 sash; alterations include changed 1 st -story openings and addition of 2 nd -story porch, large 1-story concrete-block ell and large frame garage wing	<ul style="list-style-type: none"> ● Altered and much-added-to, functional, mid/late 20th-c. resource within trailer park that appears to be not potentially NR-eligible due to loss of integrity and lack of historical, associational, and architectural significance ● Recommendation: no further assessment
10	None [300866]	20 Thompson Rd	1940 [circa]	1-story, gable-end, frame house w/ asbestos shingles, some 2/2 sash and 1-story ell; alterations include replacement of sash and enclosure of porch	<ul style="list-style-type: none"> ● Altered, unremarkable, mid-20th-c. residence that appears to be not potentially NR-eligible due to loss of integrity and lack of historical, associational, and architectural significance ● Recommendation: no further assessment

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
11	None [9951192]	72 Fruitland Rd	1943 [circa]	1-story, gable-front, frame house w/ some 3/1 sash; alterations include T1-11 siding, enclosed porch, new metal roofs and 1/1 sash	<ul style="list-style-type: none"> ● Altered, workmanlike, mid-20th-c. residence that appears to be not potentially NR-eligible due to loss of integrity and lack of historical, associational, and architectural significance ● Recommendation: no further assessment
12	None [300844]	79 Enchanted Acres Dr	1950 [circa]	1-story, gable-end, asbestos-shingled, frame house w/ some 3/1 sash; alterations include 1/1 sash and new porch supports and metal roofs	<ul style="list-style-type: none"> ● Altered, workmanlike, mid-20th-c. residence that appears to be not potentially NR-eligible due to loss of integrity and lack of historical, associational, and architectural significance ● Recommendation: no further assessment
13	None [300503]	384 Suitland Rd	1949 [circa]	1-1/2-story stone cottage w/ stone front and side porches and chimneys; stone is neatly laid and mortared, uncoursed random rubble; under renovation w/ new interior, sash and roofs and enclosure of west (road) facing entry	<ul style="list-style-type: none"> ● Well-crafted mid-20th-c. residence that appears to be not potentially NR-eligible due to loss of integrity ● Recommendation: no further assessment <p>[Note: very nice stonework]</p>

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
14	None [301195]	562 Fruitland Rd	1959 [circa]	Small, 1-story, gable-front, frame house largely engulfed by substantial later additions to sides and rear; alterations include later chimney, porch and sash	<ul style="list-style-type: none"> ● Altered, unremarkable, mid-20th-c. residence that appears to be not potentially NR-eligible due to loss of integrity and lack of historical, associational, and architectural significance ● Recommendation: no further assessment
15	None [9929436]	2840 Chimney Rock Rd	1948 [circa]; renovated 1998; ell added 2008	1-½-story, frame, gable-front, former house w/ square porch columns, Craftsman-style bargeboards and triangular kneebraces and metal-shingled roof; alterations include boxing-in of exposed rafter ends, extended surrounds, vinyl siding, snap-in sash, later rear ell; matching, contemporary, 2-story, brick, former garage to rear w/ later extended surrounds and changed front bays	<ul style="list-style-type: none"> ● Much-altered, mid-20th-c. residence w/ former garage that appears to be not potentially NR-eligible due to loss of integrity and lack of historical, associational, and architectural significance ● Recommendation: no further assessment
16a	None [9946360]	186 St Marys Dr	1925 [other sources say 1930s]	St. Mary's Chapel and Cemetery (now La Capilla de Santa Maria) – intact, Gothic Revival-style, cruciform, random rubble chapel built by Seagle family on their property; same stone forms walls of St. Marys (aka Seagle) Cemetery	<ul style="list-style-type: none"> ● Intact, excellent representative of Gothic Revival-style church potentially NR-eligible under Crit. C as good local representative of late 19th/early 20th-c. architectural type; cemetery and house (#16b) likely contributing resources ● Recommendation: intensive-level assessment

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
16b	None [9966684]	258 St Marys Dr	1941 [perhaps a bit earlier]	Seagle Family (?) House – 1 story, gable-end, random rubble house w/projecting front bays likely associated with chapel and cemetery walls	<ul style="list-style-type: none"> ● Intact, early/mid-20th-c. house likely built for Seagle family, who erected St. Mary's Chapel (#16a), potentially NR-eligible under Crit. C as a contributing resource w/ the cemetery ● Recommendation: intensive-level assessment w/ St. Mary's Chapel and Cemetery
17	None [9906536]	2575 Chimney Rock Rd	1950 [date stone-1948]	Moore's Grove Methodist Church and Cemetery – congregation formed c1891; brick Gothic Revival-style church built 1948; long, semi-detached additions at west; earliest grave 1894	<ul style="list-style-type: none"> ● Intact, commonplace, mid-20th-c. Gothic Revival-style church that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance ● Recommendation: no further assessment
18	None [1014672]	2557 Chimney Rock Rd	1975 [date stone - 1982]; 2001 education addition	Ebenezer Baptist Church and Cemetery – congregation formed 1817; brick Colonial Revival-style church built 1982 w/ extensive later additions attached by hyphens to W and N elevations; burials from early 19th century to present	<ul style="list-style-type: none"> ● Intact, commonplace, 1982, Colonial Revival-style church that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment <p>[Note: early cemetery w/fieldstones as earliest markers]</p>

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
19	None [300723]	2627 Chimney Rock Rd	1944 [circa]	1-story, frame, gable-end, single-pile, asbestos-shingled house w/ altered porch posts, vertical-board siding and sash	<ul style="list-style-type: none"> ● Altered, unremarkable, mid-20th-c. residence that appears to be not potentially NR-eligible due to loss of integrity and lack of historical, associational, and architectural significance ● Recommendation: no further assessment
20	None [301217]	2625 Chimney Rock Rd	1952 [circa]	1-story, frame, gable-end, single-pile, asbestos-shingled house w/ some original 3/1 sash and altered front and side porches	<ul style="list-style-type: none"> ● Largely intact, commonplace, mid-20th-c. house that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance ● Recommendation: no further assessment
21	None [9928819]	1 Nix Rd	1940 [circa]	1-story, gable-end, single-pile, asbestos-shingled house; alterations include ell affixed to north elevation and garage to south, addition of bay windows and modern metal roofs	<ul style="list-style-type: none"> ● Altered, unremarkable, mid-20th-c. residence that appears to be not potentially NR-eligible due to loss of integrity and lack of historical, associational, and architectural significance ● Recommendation: no further assessment

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
22	None [9902460]	4 Lakewood Rd	1950 [circa]	1-story, frame, gable-front house w/ some 3/1; alterations include aluminum siding and replaced porch posts, front door and sash	<ul style="list-style-type: none"> ● Altered, unremarkable, mid-20th-c. residence that appears to be not potentially NR-eligible due to loss of integrity and lack of historical, associational, and architectural significance ● Recommendation: no further assessment
23	None [9903909]	39 Nix Rd	1950 [circa]	1-½-story-over-basement, gable-front, brick cottage w/central exterior chimney, garage topped by project bay at right, porch w/ pointed-arch openings at left and later side deck	<ul style="list-style-type: none"> ● Intact but unremarkable, mid-20th-c. residence that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance ● Recommendation: no further assessment
24	None [9950913]	146 Nix Rd [same 18-acre parcel as 168]	1905 & 1940 [reasonable]	1-story, double-pile house w/ side bay; likely early house w/ later brick and stone veneer and metal-supported porches; large frame barn is only notable outbuilding	<ul style="list-style-type: none"> ● Altered, commonplace, early and mid-20th-c. residence that appears to be not potentially NR-eligible due to loss of integrity and lack of historical, associational, and architectural significance ● Recommendation: no further assessment
25	None [9950913]	168 Nix Rd [same parcel as 146]	1968 [circa]	1-story, brick, mid-century-modernistic house with bands of floor-to-ceiling windows and wide overhanging gable with large exposed supports	<ul style="list-style-type: none"> ● Intact, mid/late-20th-c. modernist house that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance ● Recommendation: no further assessment

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
26	None [1015092]	51 Old Holbert Rd	1926 & 1950 [reasonable]	1-1/2-story, gable-end, brick house w/ 1-story wing at S and large front and rear dormers; brick garage w/ apartment above; and third brick building; occupied mid-century by brick company superintendent Leonard C. Newman	<ul style="list-style-type: none"> ● Intact assemblage of resources potentially NR-eligible under Crit. C as good local representative of popular early/mid-20th-c. architectural type ● Recommendation: intensive-level assessment [really worth evaluating?]
27	None [1014287]	115 Big Pine Rd	1948 [circa]	1-story, frame, front-gable, 3-bay house w/ full-façade porch; alterations include replacement porch members, vinyl siding and snap-in sash	<ul style="list-style-type: none"> ● Altered, commonplace, mid-20th-c. residence that appears to be not potentially NR-eligible due to loss of integrity and lack of historical, associational, and architectural significance ● Recommendation: no further assessment
28	None [9956802]	159 Big Pine Rd	1948 [circa]	1-story, frame, front-gable, 3-bay, asbestos-shingled house w/ full- façade porch and 1/1 sash; alterations include replacement porch members and vinyl siding	<ul style="list-style-type: none"> ● Largely intact but unremarkable, mid-20th-c. residence that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance ● Recommendation: no further assessment
29	None [9956317]	195 Big Pine Rd	1948 [circa]	1-story, frame, German-sided, front- gable house w/ tripled 3/1 window bay at front elevation and paired windows at side; alterations included some vinyl siding and altered porch members	<ul style="list-style-type: none"> ● Largely intact but commonplace, mid-20th-c. house that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance ● Recommendation: no further assessment

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
30	None [9956318]	211 Big Pine Rd	1948 [circa]	1-story, frame, front-gable, 3-bay house w/ 2-bay gabled porch and German siding; alterations include replacement porch members and snap-in sash	<ul style="list-style-type: none"> ● Largely intact but commonplace, mid-20th-c. residence that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance ● Recommendation: no further assessment
31	None [9946735]	265 Big Pine Rd	1970 [circa]	1-story, gable-end, frame house w/ German siding and 1-bay gabled porch	<ul style="list-style-type: none"> ● Intact, unremarkable, c1970 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
32	None [1012203]	3100 Howard Gap Rd	1913/1940 [reasonable]	1-story, frame and brick-veneered, gable-end house w/ façade gable; possibly built 1913 and brick-clad in 1940 re: tax records; later altered porch and sash	<ul style="list-style-type: none"> ● Altered, commonplace, early/mid-20th-c. house that appears to be not potentially NR-eligible due to loss of integrity and lack of historical, associational, and architectural significance ● Recommendation: no further assessment
33	None [112134]	2929 Howard Gap Rd	1930/1940 [circa]	1-story, gable-front, frame house w/ exposed rafter ends; porch members changed and aluminum siding added	<ul style="list-style-type: none"> ● Altered, commonplace, early/mid-20th-c. house that appears to be not potentially NR-eligible due to loss of integrity and lack of historical, associational, and architectural significance ● Recommendation: no further assessment

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
34	None [9925896]	2791 Howard Gap Rd	1945 [circa]	1-story, gable-front, frame, asbestos-shingled house w/ paired 4/1 sash and 1-room gabled wing at northwest side; alterations include shed room at southeast, metal porch supports and some 1/1 sash	<ul style="list-style-type: none"> ● Largely intact but commonplace, mid-20th-c. house that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance ● Recommendation: no further assessment
35	None [1014403]	2760 Howard Gap Rd	1940 [circa]	1-story, gable-front, frame house; alterations include partial enclosure of front porch, vinyl siding and replaced sash	<ul style="list-style-type: none"> ● Altered, unremarkable, mid-20th-c. residence that appears to be not potentially NR-eligible due to loss of integrity and lack of historical, associational, and architectural significance ● Recommendation: no further assessment
36	None [9925824]	314 N Clear Creek Rd	1900 and 1950 [circa 1950]	Mount Zion Baptist Church and Cemetery – African-American congregation founded c1900; 1-story, Colonial Revival-style, gable-front, concrete-block building w/ squat steeple over frame entry; tiny cemetery w/fieldstone markers	<ul style="list-style-type: none"> ● Functional, mid-20th-c. church that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance; cemetery lacks notable markers ● Recommendation: no further assessment <p>[worth evaluating for African-American association?]</p>

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
37	None [9956134]	193 Salisbury Rd	1980 [correct]	Stanford Chapel AME Zion Church – congregation formed 1930, current brick Colonial Revival-style church built 1980 according to date stone; entry portico and spire w/ long later wing at south; cemetery no longer extant	<ul style="list-style-type: none"> ● Intact, commonplace, 1980, Colonial Revival-style church that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
38	None [1014676]	2479 Howard Gap Rd	1953 [circa]	1-story-over-garage/basement, brick, gable-end ranch w/ large interior brick chimney stack	<ul style="list-style-type: none"> ● Intact, commonplace, mid-20th-c. house that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance ● Recommendation: no further assessment
39	None [1014230]	23 Kingswood Dr	1984 [circa]	1-½-story, frame, 5-bay, vinyl-sided, gable-end house w/ 2 front dormers, snap-in sash and 1-story wing	<ul style="list-style-type: none"> ● Intact, commonplace, c1984 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
40	None [700166]	509 Brookside Camp Rd	1966 [circa]	1-story-over-basement, brick, L-shaped, hip-roofed house w/ setback entry	<ul style="list-style-type: none"> ● Intact, unremarkable, mid-20th-c. residence that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance ● Recommendation: no further assessment

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
41	None [700644]	515 Brookside Camp Rd	1940 [circa]	1-story, double-pile, gable-end cabin w/ overhanging cement-chinked round-notched logs, 3-bay porch, exterior-end stone chimney, rear ell; on same lot as #42; very similar to #52	<ul style="list-style-type: none"> ● Intact, typical, mid-20th-c. log house that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance ● Recommendation: no further assessment <p>[assess w/ adjacent frame cabin (#42)?]</p>
42	None [700644]	511 Brookside Camp Rd	1950 [circa]	1-story, 3-bay, square, frame cabin w/ board-and-batten siding, large triangular kneebraces at entry canopy, and new front deck; on same lot as #41	<ul style="list-style-type: none"> ● Intact, typical, mid-20th-c. log house that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance ● Recommendation: no further assessment <p>[assess w/ adjacent log cabin (#41)?]</p>
43	House/HN1933 [9968605]	1959 Clear Creek Rd	1916 [reasonable circa date]	1-story, frame, hip-roofed, 2/2 sash, asbestos-shingled house w/ Craftsman-style porch of battered posts on brick piers; adjacent garage with apartment above	<ul style="list-style-type: none"> ● Determined not NR-eligible in 2014 as part of I-26 Improvements Report (TIP I-4400/I-4700; ER 01-8333) ● Recommendation: no further assessment
44	Brookside Camp Road Bridge/ HN1964 [none]	Brookside Camp Rd over I-26	1963 [plaque]	Bridge over I-26	<ul style="list-style-type: none"> ● Determined not NR-eligible in 2014 as part of I-26 Improvements Report (TIP I-4400/I-4700; ER 01-8333) ● Recommendation: no further assessment

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
45	House/HN1932 [115099]	1845 Clear Creek Rd	1960 [circa]	1-story, frame, German-sided, gable-end ranch w/ permastone at front kneewall and bracketing entry	<ul style="list-style-type: none"> ● Determined not NR-eligible in 2014 as part of I-26 Improvements Report (TIP I-4400/I-4700; ER 01-8333) ● Recommendation: no further assessment
46	House/HN1931 [9947159]	1803 Clear Creek Rd	1931 [circa]	1-story, frame, weatherboarded, hip-roofed house w/ fully enclosed porch	<ul style="list-style-type: none"> ● Determined not NR-eligible in 2014 as part of I-26 Improvements Report (TIP I-4400/I-4700; ER 01-8333) ● Recommendation: no further assessment
47	Clear Creek Road Bridge/HN1963 [none]	Clear Creek Rd over I-26	1963 [plaque]	Bridge over I-26	<ul style="list-style-type: none"> ● Determined not NR-eligible in 2014 as part of I-26 Improvements Report (TIP I-4400/I-4700; ER 01-8333) ● Recommendation: no further assessment
48	House/HN1934 [104245]	104 Alex Cove Rd	1930 [circa]	1-story, frame, gable-front, vertical-board-sided house w/ full-façade porch supported by later iron posts	<ul style="list-style-type: none"> ● Determined not NR-eligible in 2014 as part of I-26 Improvements Report (TIP I-4400/I-4700; ER 01-8333) ● Recommendation: no further assessment
49	House/HN1935 [104250]	619 Hyder Farm Rd	1950 [circa]	1-story, frame, gable-front, vinyl-sided house w/ paired 3/1 sash and altered porch w/ wooden posts	<ul style="list-style-type: none"> ● Determined not NR-eligible in 2014 as part of I-26 Improvements Report (TIP I-4400/I-4700; ER 01-8333) ● Recommendation: no further assessment

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
50	Hyder Dairy Farm/HN1906 [9928861]	679 Hyder Farm Rd	1930 [see DOE]	Hyder Dairy Farm – c.1890/c.1940/c.1980; 1-story, gable-end, vinyl-sided log house w/ c.1940 gambrel-roofed barn and other outbuildings	<ul style="list-style-type: none"> ● Determined NR-eligible in 2014, under Criteria A and C, as part of I-26 Improvements Report (TIP I-4400/I-4700; ER 01-8333) ● Recommendation: no further assessment, but include in reporting
51	Sholtz-Cantrell Estate/HN0059 [9957963]	825 Clear Creek Rd	1930 [see DOE]	Sholtz-Cantrell Estate – c.1920s; long, 2-story, asymmetrical, frame, gable-end, aluminum-sided, Colonial Revival-style house w/ outbuildings	<ul style="list-style-type: none"> ● Determined NR-eligible in 1995, under Criteria A and C, as part of Henderson Co Report (ER 95-8088); continuing eligibility affirmed in 2014 as part of I-26 Improvements Report (TIP I-4400/I-4700; ER 01-8333) ● Recommendation: no further assessment, but include in reporting
52	None [9905235]	239 Balfour Rd	1937 [circa]	1-story, double-pile, gable-end cabin w/ overhanging cement-chinked round-notched logs, exterior-end stone chimney, screened-in front porch, and frame rear ell; very similar to #41	<ul style="list-style-type: none"> ● Intact, typical, mid-20th-c. log house that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance ● Recommendation: no further assessment <p>[worth assessing?]</p>
53	Berkeley Mills Ballpark/HN1903 [1010646]	69 Balfour Rd	No date [see NR nom]	Berkeley Mills Ballpark – 1949-50; mill-village-associated baseball field and frame grandstand	<ul style="list-style-type: none"> ● NR-listed in 2016 under Criteria A ● Recommendation: no further assessment, but include in reporting as just south of APE

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
54	None [multiple]	Multiple addresses	Multiple dates	Grimesdale Subdivision – developed by Charles Grimes; platted, and first house occupied, in 1955; largely comprised of typical, one-story, brick, mid-century house types erected within insular development from 1955 through c.1980	<ul style="list-style-type: none"> ● Largely intact neighborhood of modest mid-century housing types platted in 1950s potentially NR-eligible under Crit. A and C as a good local representative of popular mid-20th-c. neighborhood planning and design ● Recommendation: intensive-level assessment
55	None [115998]	676 Stoney Mountain Rd	1956 [circa]	1-story, brick house w/ L-shaped hip roof, large exterior-end chimney and pair of front picture windows	<ul style="list-style-type: none"> ● Intact, commonplace, mid-20th-c. house that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance ● Recommendation: no further assessment
56	None [115999]	692 Stoney Mountain Rd	1924 [circa]	1-story, frame, German-sided, gable-front bungalow w/ paired 4/1 sash, exposed rafter ends, triangular kneebraces, Craftsman-style porch; only notable exterior alteration is stuccoing of porch piers and foundation	<ul style="list-style-type: none"> ● Intact, commonplace, early 20th-c. house that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance ● Recommendation: no further assessment <p>[Note: very intact; worth evaluating?]</p>
57	None [9967387]	715 Stoney Mountain Rd	1973 [circa]	Gable-end, brick and vertical-board-sided, split level house	<ul style="list-style-type: none"> ● Intact, commonplace, c1973 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
58	None [9904094]	800 Stoney Mountain Rd	No date [c1930s]	Former Henderson County Home (now Henderson County Stoney Mountain Activity Center) – 1-story, brick, V-shaped, Colonial Revival-style, institutional building w/ pedimented front portico and long rear ell	<ul style="list-style-type: none"> ● Intact former County Home potentially NR-eligible under (1) Crit. A for association with county care of needy residents in early/mid-20th-c. and (2) Crit. C as good local representative of Colonial Revival-style institutional building ● Recommendation: intensive-level assessment
59	None [9904073]	812 Stoney Mountain Rd	No date [1930s?]	Current Henderson County School Bus Garage – large, 1-story, utilitarian Art Deco, yellow-brick garage w/ metal casement windows, stepped front parapet and arched roof; taller flat-roofed rear extension	<ul style="list-style-type: none"> ● Largely intact school bus maintenance garage potentially NR-eligible under (1) Crit. A for association with development of county school system in early/mid-20th-c. and (2) Crit. C as good local representative of Art Deco institutional building ● Recommendation: intensive-level assessment
60	None [106175]	809 Stoney Mountain Rd	1972 [circa]	Long, 1-story, gable-end, brick ranch w/ 2 front bay windows	<ul style="list-style-type: none"> ● Intact, commonplace, c1972 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
61	None [9904095]	256 Transfer Station Drive	No date [1838, 1948 per marker]	County Home Cemetery – created 1948 according to memorial marker for citizens buried here since 1838; graves marked by later unmarked stones	<ul style="list-style-type: none"> ● Intact 1948 memorial marker and stone blocks that appear to be not potentially NR-eligible due to lack of significant design or symbolic value ● Recommendation: no further assessment

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
62	None [116070]	855 Stoney Mountain Rd	1983 [circa]	Gable-end, brick and Masonite-sided, split level house	<ul style="list-style-type: none"> ● Intact, commonplace, c1983 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
63	None [114668]	102 Leverette Dr	1955 [circa]	Long, 1-story, ranch w/ stone and rustic wooden siding, stone and brick chimneys and long front porch w/ metal supports	<ul style="list-style-type: none"> ● Intact, commonplace, mid-20th-c. house that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance ● Recommendation: no further assessment
64	None [9947870]	101 Leverette Dr [see plat map C/027] [Twin Brooks Subdivision]	1971 [circa]	1-story-over-basement, frame, horizontal-board-sided and brick-veneered, L-shape ranch w/ modernist glass wall at one gable end defined by wide overhanging gable w/ large exposed rafters	<ul style="list-style-type: none"> ● Intact, largely commonplace, c1972 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
65	None [102605]	104 Leverette Dr	1964 [circa]	1-story-over-basement, gable-end, brick ranch w/ large rear deck	<ul style="list-style-type: none"> ● Intact, unremarkable, mid-20th-c. residence that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance ● Recommendation: no further assessment

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
66	None [107988]	203 Leverette Dr	1967 [circa]	1-story-over-basement, gable-end and hip-roofed brick ranch	<ul style="list-style-type: none"> ● Intact, commonplace, mid-20th-c. residence that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance ● Recommendation: no further assessment
67	None [111538]	109 Twin Brook Dr	1967 [circa]	1-story-over-basement, frame, horizontal-board-sided and brick-veneered, L-shape-gabled ranch	<ul style="list-style-type: none"> ● Intact, unremarkable, mid-20th-c. residence that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance ● Recommendation: no further assessment
68	None [102304]	208 Leverette Dr	1969 [circa]	1-story-over-basement, plainly finished, gable-end, brick house w/ large deck at east side	<ul style="list-style-type: none"> ● Intact, commonplace c1969 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
69	None [multiple]	Multiple addresses	Multiple dates in 1970s and 1980s	Dogwood Forest Subdivision – platted by Philip A. Mann (Plat book 9/Page 88 or Cabinet C/No. 235) in 1973; houses typical of period built between 1972 and 1988—mostly frame 1-story or frame 1-story-over-brick-basement	<ul style="list-style-type: none"> ● Intact, typical 1970s/1980s subdivision that appears to lack exceptional importance and thereby be not potentially NR-eligible ● Recommendation: no further assessment <p>Note: individual resources inventoried at #70-#92</p>

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
70	None [107048]	2801 Hampton Dr	1973 [circa]	Dogwood Forest: 1-story, frame, vertical-board-sided house w/ U-shaped hip roof	<ul style="list-style-type: none"> ● Intact, unremarkable c1973 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
71	None [106847]	2805 Hampton Dr	1973 [circa]	Dogwood Forest: 1-story, frame, horizontal-board-sided and brick ranch w/ recessed entry, L-shape gable and 2 front dormers	<ul style="list-style-type: none"> ● Intact, commonplace c1973 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
72	None [107004]	2809 Hampton Dr	1970 [circa]	Dogwood Forest: 1-story, frame, gable-end, vertical-board-sided and brick ranch w/ recessed entry	<ul style="list-style-type: none"> ● Intact, commonplace c1970 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
73	None [9956509]	2813 Hampton Dr	1976 [circa]	Dogwood Forest: 1-story, frame, vertical-board-sided house w/ hip-and-gablet L-shaped roof	<ul style="list-style-type: none"> ● Intact, commonplace c1976 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
74	None [9929847]	2816 Hampton Dr	1972 [circa]	Dogwood Forest: 1-story-over-basement, frame, cross-gable, vertical-board and brick-sided house	<ul style="list-style-type: none"> ● Intact, unremarkable c1972 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
75	None [114229]	2804 Hampton Dr	1976 [circa]	Dogwood Forest: 2-story, frame, horizontal-board-sided house with full-height portico supported by square columns	<ul style="list-style-type: none"> ● Intact, unremarkable c1976 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
76	None [104968]	107 Nob Hill Rd	1980 [circa]	Dogwood Forest: 1-story, frame, hip-and-gablet, vertical-board-sided house w/ garage wing, multiple picture windows and deck	<ul style="list-style-type: none"> ● Intact, commonplace c1980 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
77	None [115817]	115 Nob Hill Rd	1976 [circa]	Dogwood Forest: 1-story-over-basement, frame, U-shape-gabled house w/ long front deck recessed beneath eaves	<ul style="list-style-type: none"> ● Intact, unremarkable c1976 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
78	None [102636]	119 Nob Hill Rd	1977 [circa]	Dogwood Forest: 1-story-over-basement, frame, vertical-board-sided and brick house w/ gabled roofs and large exterior brick chimney	<ul style="list-style-type: none"> ● Intact, unremarkable c1977 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
79	None [110877]	123 Nob Hill Rd	1979 [circa]	Dogwood Forest: 1-story, hip-roofed, frame, vertical-board-sided house w/ attached 2-car and 1-car garages	<ul style="list-style-type: none"> ● Intact, unremarkable c1979 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
80	None [108459]	127 Nob Hill Rd	1978 [circa]	Dogwood Forest: 1-story-over-basement, frame house w/ U-shaped hip-and-gablet roof, vertical-board-siding and large screened deck	<ul style="list-style-type: none"> ● Intact, commonplace c1978 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
81	None [107064]	128 Nob Hill Rd	1978 [circa]	Dogwood Forest: 1-story-over-basement, frame, vertical-board sided, gable-roofed house w/ wings	<ul style="list-style-type: none"> ● Intact, unremarkable c1978 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
82	None [109249]	124 Nob Hill Rd	1981 [circa]	Dogwood Forest: 1-story, frame, vertical-board-sided house w/ U – shaped gabled-roof	<ul style="list-style-type: none"> ● Intact, commonplace c1981 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
83	None [103751]	12 Colonial Way	1981 [circa]	Dogwood Forest: 1-story-over-brick-basement, frame, gable-roofed house w/ vertical-board siding and garage wing	<ul style="list-style-type: none"> ● Intact, commonplace c1981 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
84	None [100316]	16 Colonial Way	1979 [circa]	Dogwood Forest: 1-story-over-brick-basement, frame, horizontal-board-sided, hip-roofed ranch	<ul style="list-style-type: none"> ● Intact, unremarkable c1979 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
85	None [115355]	17 Colonial Way	1980 [circa]	Dogwood Forest: 1-story, gable-end, frame, vertical-board-sided residence w/ tall glass-topped entry	<ul style="list-style-type: none"> ● Intact, commonplace c1980 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
86	None [104263]	120 Nob Hill Rd	1980 [circa]	Dogwood Forest: 1-story-over-brick-basement, gable-roofed, frame residence w/ vertical-board siding and attached garage	<ul style="list-style-type: none"> ● Intact, commonplace c1980 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
87	None [100769]	116 Nob Hill Rd	1977 [circa]	Dogwood Forest: 1-story-over-brick-basement, gable-roofed, frame, vertical-board-sided house w/ attached garage	<ul style="list-style-type: none"> ● Intact, unremarkable c1977 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
88	None [104380]	112 Nob Hill Rd	1976 [circa]	Dogwood Forest: 1-story-over-brick-basement, gable-roofed, frame, vertical-board-sided house w/ attached garage	<ul style="list-style-type: none"> ● Intact, unremarkable c1976 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
89	None [104979]	14 Alton Way	1978 [circa]	Dogwood Forest: 1-story-over-brick-basement, gable-roofed, frame, vertical-board-sided dwelling w/ attached garage	<ul style="list-style-type: none"> ● Intact, unremarkable c1978 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
90	None [105614]	15 Alton Way	1975 [circa]	Dogwood Forest: 1-story-over-brick-basement house w/ L-shaped gable roof and vertical-board siding	<ul style="list-style-type: none"> ● Intact, commonplace c1975 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
91	None [114238]	11 Alton Way	1976 [circa]	Dogwood Forest: 1-story, frame residence w/ vertical-board siding and U-shaped gable roof	<ul style="list-style-type: none"> ● Intact, commonplace c1976 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
92	None [104176]	104 Nob Hill Rd	1988 [circa]	Dogwood Forest: 1-story, frame, gable-end, horizontal-board-sided house w/ attached garage, entry beneath gabled portico and some applied stone	<ul style="list-style-type: none"> ● Intact, unremarkable c1988 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
93	None [106632]	109 May Dr	1964 [circa]	1-story-over-basement, hipped-roof, plainly finished, brick house	<ul style="list-style-type: none"> ● Intact, unremarkable, mid-20th-c. residence that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance ● Recommendation: no further assessment
94	None [105582]	110 May Dr	1960 [circa]	1-story-over-basement, brick, mid-century house w/ wide overhanging hipped-roof, recessed entry and basement-level garage	<ul style="list-style-type: none"> ● Intact, commonplace, mid-20th-c. residence that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance ● Recommendation: no further assessment

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
95	None [106634]	119 May Dr	1960 [circa]	1-story-over-basement, hipped-roof, plainly finished, brick, mid-century house	<ul style="list-style-type: none"> ● Intact, commonplace, mid-20th-c. residence that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance ● Recommendation: no further assessment
96	None [105895]	120 May Dr	1962 [circa]	1-story-over-basement, hipped-roof, brick and vinyl sided house w/ screened-in front porch	<ul style="list-style-type: none"> ● Largely intact but commonplace, mid-20th-c. house that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance ● Recommendation: no further assessment
97	None [9934663]	2839 Haywood Rd	1905 [circa]	1 1/2-story, frame, weatherboarded, hip-roofed, turn-of-the-century house w/ large cross dormers, Chinese Chippendale-like wraparound porch balustrade and some original 3/1 sash,	<ul style="list-style-type: none"> ● Much of original and early fabric intact; potentially NR-eligible under Crit. C as good local representative of turn-of-the-19th c. architectural type ● Recommendation: intensive-level assessment
98	None [9907064]	Adjacent (N of) 170 Mistletoe Tr	No date	McCarson Cemetery – burials from early 19th to present; fieldstone and headstone markers	<ul style="list-style-type: none"> ● Largely intact, early cemetery potentially NR-eligible under Crit. Consideration D for its design features ● Recommendation: intensive-level assessment

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
99a	None [multiple]	Multiple addresses	Multiple dates effectively between 1968 and 1979	Sedgewood Development – Castleton Lane platted as Sedgewood Development in early 1968 (Plat Bk 8/Pg 67 and Plat Map C168) and portion of Shannon Rd platted as Block C of development in 1976 (Plat Bk 10/Pg 121 and Plat Map C316); mostly frame 1-story or frame 1-story-over-brick-basement houses built in late 1960s and 1970s are typical of period	<ul style="list-style-type: none"> ● Largely intact, typical late 1960s/1970s subdivision that appears to lack exceptional importance and thereby be not potentially NR-eligible ● Recommendation: no further assessment <p>Note: individual resources inventoried at #99b-#133</p>
99b	None [112102]	105 Shannon Rd	1969 [circa]	Sedgewood Development: 1-story-over-basement, brick, gable-end house w/ projecting roof over entry and flanking bays	<ul style="list-style-type: none"> ● Intact, commonplace c1969 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
100	None [114430]	109 Shannon Rd	1970 [circa]	Sedgewood Development: 1-story-over-basement, brick, gable-end, plainly finished house	<ul style="list-style-type: none"> ● Intact, unremarkable c1970 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
101	None [103107]	113 Shannon Rd	1969 [circa]	Sedgewood Development: 1-story-over-basement, brick, gable-end, plainly finished house w/ gabled canopy over entry	<ul style="list-style-type: none"> ● Intact, commonplace c1969 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
102	None [110105]	117 Shannon Rd	1970 [circa]	Sedgewood Development: 1-story-over-basement, brick, gable-end house w/ entry portico and engaged side porch	<ul style="list-style-type: none"> ● Intact, unremarkable c1970 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
103	None [102083]	201 Shannon Rd	1970 [circa]	Sedgewood Development: 1-story-over-basement, brick, gable-end, plainly finished house	<ul style="list-style-type: none"> ● Intact, unremarkable c1970 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
104	None [100411]	203 Shannon Rd	1978 [circa]	Sedgewood Development: 1-story-over-basement, brick, gable-end house w/ long engaged porch across front	<ul style="list-style-type: none"> ● Intact, commonplace c1978 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
105	None [116087]	207 Shannon Rd	1976 [circa]	Sedgewood Development: 1-story-over-basement, brick, gable-end house w/ projecting roof over entry and flanking bays	<ul style="list-style-type: none"> ● Intact, unremarkable c1976 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
106	None [114322]	215 Shannon Rd	1969 [circa]	Sedgewood Development: 1-story-over-basement, brick, gable-end house w/ recessed entry	<ul style="list-style-type: none"> ● Intact, commonplace c1969 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
107	None [113261]	130 Castleton Ln	1970 [circa]	Sedgewood Development: 1-story-over-basement, brick, gable-end house w/ recessed entry and enclosed engaged side porch	<ul style="list-style-type: none"> ● Intact, unremarkable c1970 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
108	None [114000]	126 Castleton Ln	1969 [circa]	Sedgewood Development: 1-story, brick, gable-end, plainly finished ranch	<ul style="list-style-type: none"> ● Intact, commonplace c1969 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
109	None [112151]	122 Castleton Ln	1968 [circa]	Sedgewood Development: 2-story, horizontal-board-sided and brick, gable-end main block w/ 1-story, brick, gable-end wing	<ul style="list-style-type: none"> ● Intact, commonplace c1968 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
110	None [110261]	118 Castleton Ln	1968 [circa]	Sedgewood Development: 1-story-over-basement, brick, L-shaped gabled house w/ recessed entry and bays	<ul style="list-style-type: none"> ● Intact, commonplace c1968 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
111	None [106927]	114 Castleton Ln	1968 [circa]	Sedgewood Development: brick and vertical-board-sided, gable-end, split level w/ full-height engaged portico	<ul style="list-style-type: none"> ● Intact, commonplace c1969 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
112	None [104394]	110 Castleton Ln	1969 [circa]	Sedgewood Development: brick and vertical-board-sided, gable-end, split level w/ full-height, full-façade, engaged portico	<ul style="list-style-type: none"> ● Intact, commonplace c1969 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
113	None [104390]	106 Castleton Ln	1969 [circa]	Sedgewood Development: horizontal-board-sided split level w/ lower brick level recessed and extending to side to support deck	<ul style="list-style-type: none"> ● Intact, commonplace c1969 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
114	None [103638]	102 Castleton Ln	1969 [circa]	Sedgewood Development: 1-story, gable-front, brick house w/ engaged full-height gable-front porch and gable-end garage	<ul style="list-style-type: none"> ● Intact, commonplace c1969 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
115	None [116207]	103 Castleton Ln	1975 [circa]	Sedgewood Development: 1-story, L-shaped gable-roofed, brick house w/ engaged 2-car garage and stone details	<ul style="list-style-type: none"> ● Intact, commonplace c1975 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
116	None [104519]	107 Castleton Ln	1968 [circa]	Sedgewood Development: long, gable-end, brick split level w/ full-height full-façade portico supported by round columns	<ul style="list-style-type: none"> ● Intact, commonplace c1968 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
117	None [112206]	111 Castleton Ln	1963 [circa]	Sedgewood Development: 1-story-over-basement, brick and horizontal-board-sided house w/ deep gabled canopy supported by heavy rafters at entry	<ul style="list-style-type: none"> ● Intact, commonplace, mid-20th-c. residence that appears to be not potentially NR-eligible due to lack of historical, associational, and architectural significance ● Recommendation: no further assessment
118	None [113494]	115 Castleton Ln	1968 [circa]	Sedgewood Development: 1-story-over-basement, brick, gable-end house w/ engaged screened side porch and full-height portico at entry	<ul style="list-style-type: none"> ● Intact, commonplace c1968 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
119	None [107240]	119 Castleton Ln	1969 [circa]	Sedgewood Development: 1-story-over-basement, brick, gable-end house w/ projecting roof supported by columns over entry	<ul style="list-style-type: none"> ● Intact, commonplace c1969 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
120	None [112289]	123 Castleton Ln	1969 [circa]	Sedgewood Development: 1-story-over-basement, brick, gable-end house w/ projecting roof supported by columns over entry	<ul style="list-style-type: none"> ● Intact, commonplace c1969 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
121	None [9938936]	127 Castleton Ln	1969 [circa]	Sedgewood Development: 1-story-over-basement, brick, gable-end, plainly finished house	<ul style="list-style-type: none"> ● Intact, commonplace c1969 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
122	None [105049]	202 Castleton Ln	1970 [circa]	Sedgewood Development: gable-end, brick split level w/ entry set back at projecting front gable	<ul style="list-style-type: none"> ● Intact, unremarkable c1970 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
123	None [105293]	230 Shannon Rd	1970 [circa]	Sedgewood Development: gable-end, brick split level w/ entry and 2 bays to right shaded by overhanging roof supported by full-height columns	<ul style="list-style-type: none"> ● Intact, unremarkable c1970 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
124	None [112138]	226 Shannon Rd	1978 [circa]	Sedgewood Development: gable-end, brick split level w/ projecting front gable	<ul style="list-style-type: none"> ● Intact, commonplace c1978 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
125	None [107063]	224 Shannon Rd	1976 [circa]	Sedgewood Development: gable-end split level w/ brick at recessed lower level and vertical-board siding at upper level	<ul style="list-style-type: none"> ● Intact, unremarkable c1976 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
126	None [113586]	222 Shannon Rd	1971 [circa]	Sedgewood Development: gable-end, brick split level w/ entry and 2 bays to left shaded by overhanging roof supported by full-height columns	<ul style="list-style-type: none"> ● Intact, commonplace c1971 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
127	None [106526]	214 Shannon Rd	1976 [circa]	Sedgewood Development: gable-end, brick split level w/ full-height portico at entry and bay to left	<ul style="list-style-type: none"> ● Intact, unremarkable c1976 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
128	None [115933]	210 Shannon Rd	1971 [circa]	Sedgewood Development: gable-end, brick, plainly finished split level	<ul style="list-style-type: none"> ● Intact, unremarkable c1970 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
129	None [107266]	206 Shannon Rd	1976 [circa]	Sedgewood Development: gable-end, brick split level w/ vertical-board siding at front entry and projecting front gable	<ul style="list-style-type: none"> ● Intact, unremarkable c1976 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
130	None [106844]	202 Shannon Rd	1970 [circa]	Sedgewood Development: gable-end split level w/ brick lower level and vertical- and horizontal-board siding above and engaged screened side porch	<ul style="list-style-type: none"> ● Intact, unremarkable c1970 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
131	None [114799]	112 Shannon Rd	1976 [circa]	Sedgewood Development: gable-end, brick split level w/ vertical-board siding at upper-level front elevation, portico at entry, and deck at upper level to left of entry	<ul style="list-style-type: none"> ● Intact, unremarkable c1976 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment

AECOM#/ [Figure#]	HPO name/# [parcel #]	Address	Tax date [comments]	Description/Comments	Preliminary NR assessment/ Recommendation
132	None [9906092]	108 Shannon Rd	1975 [circa]	Sedgewood Development: gable-end, brick split level w/ vertical-board siding at upper-level front elevation and projecting roof supported by full-height columns at entry and bays to right	<ul style="list-style-type: none"> ● Intact, commonplace c1975 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
133	None [111214]	100 Shannon Rd	1979 [circa]	Sedgewood Development: gable-end, brick and vertical-board-sided split level w/ projecting front gable supported by large rafter ends	<ul style="list-style-type: none"> ● Intact, commonplace c1979 house that appears to be not potentially NR-eligible due to lack of exceptional importance ● Recommendation: no further assessment
134	Jamison House/ HN0248 [9960681]	3250 Haywood Rd	1915 [reasonable]	Jamison House – 1 1/2-story, weatherboarded, frame house w/ large front gable and centered 1-story rear ell, wraparound front porch and 2/1 sash; outbuildings include frame garage, chicken house, shed, and center-passage barn	<ul style="list-style-type: none"> ● Almost all of original fabric intact; potentially NR-eligible under Crit. C as local representative of early 20th-c. farmhouse that retains four early outbuildings on 8-acre tract; previous inventory identified it as “Jamison House” ● Recommendation: intensive-level assessment
135	Moss-Johnson Farm/ HN0043 [9973285]	3346 Haywood Rd	1880 [see NR nom]	Moss-Johnson Farm – 2-story, brick, Italianate-style, L-plan farmhouse w/ multiple outbuildings	<ul style="list-style-type: none"> ● NR-listed in 1987 under Criteria C for architecture ● Recommendation: no further assessment, but include in reporting



AECOM #1 - 34 Chestnut Gap Rd: NW front and NE side elevations of house at right; garage at center left, shed at far left



AECOM #1 - 34 Chestnut Gap Rd: NE side and NW front elevations of house at center; garage at left, shed at right



AECOM #2 - 2893 Chimney Rock Rd: SE front elevation of house



AECOM #3/HN1355 - 2886 Chimney Rock Rd: N front elevation; note fieldstone retaining wall



AECOM #3/HN1355 - 2886 Chimney Rock Rd: N front and E side elevations; barn at left distance



AECOM #3/HN1355 - 2886 Chimney Rock Rd: looking SW at barn and concrete-block outbuilding



AECOM #4 - 2869 Chimney Rock Rd: S front and W side elevations



AECOM #5 - 2861 Chimney Rock Rd: S side and E front elevations



AECOM #6 - 2859 Chimney Rock Rd: E side and S front elevations



AECOM #6 - 2859 Chimney Rock Rd: S front and W side elevations



AECOM #7 - 2853 Chimney Rock Rd: S front and E side elevations



AECOM #8 - 2852 Chimney Rock Rd: N gabled and W elevations



AECOM #8 - 2852 Chimney Rock Rd: N gabled and E elevations



AECOM #8 - 2852 Chimney Rock Rd: S hipped and E elevations



AECOM #9 - 1 Apple Orchard Rd: S front and W side of main block with later garage wing at right



AECOM #9 - 1 Apple Orchard Rd: N rear and E side of main block with later concrete-block ell in foreground



AECOM #10 – 20 Thompson Rd: W front elevation



AECOM #11 – 72 Fruitland Rd: N side and W front elevations



AECOM #12 - 79 Enchanted Acres Dr: N front and E side elevations



AECOM #13 – 384 Suitland Rd: gable-end S and long W elevations



AECOM #13 - 384 Suitland Rd: long E and gable-end S elevations



AECOM #14 - 562 Fruitland Rd: W front and N side elevations



AECOM #15 - 2840 Chimney Rock Rd: N front and W side elevations of former house



AECOM #15 - 2840 Chimney Rock Rd: E side and S rear elevations of former house



AECOM #15 - 2840 Chimney Rock Rd: E side and S rear elevations of former garage



AECOM #16a - 186 St Marys Dr: N side and W front elevation of church



AECOM #16a - 186 St Marys Dr: W front and E side elevation of church



AECOM #16a - 186 St Marys Dr: church interior through window



AECOM #16a - 186 St Marys Dr: cemetery opposite front of church



AECOM #16b - 258 St Marys Dr: SW front and SE side elevations



AECOM #17 – 2575 Chimney Rock Rd: W gable end and S entrance elevations



AECOM #17 - 2575 Chimney Rock Rd: E gable end elevation of church, at right, and later additions, at left; cemetery in foreground



AECOM #18 - 2557 Chimney Rock Rd: E front elevation of church, at right, and education wing, at left



AECOM #18 - 2557 Chimney Rock Rd: cemetery



AECOM #18 - 2557 Chimney Rock Rd: cemetery



AECOM #19 - 2627 Chimney Rock Rd: SE front and SW side elevations



AECOM #20 - 2625 Chimney Rock Rd: SE front and SW side elevations



AECOM #21 – 1 Nix Rd: E front and S side elevations



AECOM #22 – 4 Lakewood Rd: W front and N side elevations



AECOM #23 - 39 Nix Rd: N front and E side elevations



AECOM #24 - 146 Nix Rd: S front and W side elevations



AECOM #24 - 146 Nix Rd: S front elevations of house, at right, and barn, at left



AECOM #25 - 168 Nix Rd: S front and W side elevations



AECOM #26 - 51 Old Holbert Rd: W front and S side elevation of house



AECOM #26 - 51 Old Holbert Rd: S side and E rear elevations of house, at left, carport and outbuilding, at right



AECOM #26 - 51 Old Holbert Rd: W front and S side elevations of garage/apartment



AECOM #27 - 115 Big Pine Rd: N front and E side elevations



AECOM #28 - 159 Big Pine Rd: N front and W side elevations



AECOM #29 - 195 Big Pine Rd: N front elevation



AECOM #30 - 211 Big Pine Rd: N front and E side elevations



AECOM #31 - 265 Big Pine Rd: E front elevation



AECOM #32 -3100 Howard Gap Rd: S side and E front elevations



AECOM #33 - 2929 Howard Gap Rd: S front and E side elevations



AECOM #34 - 2791 Howard Gap Rd: SW front and SE side elevations



AECOM #35 - 2760 Howard Gap Rd: Ne front and SE side elevations



AECOM #36 - 314 N Clear Creek Rd: N front and W side elevation



AECOM #36 - 314 N Clear Creek Rd: E side elevation



AECOM #36 - 314 N Clear Creek Rd: cemetery in foreground, S rear and W side elevations of church at right



AECOM #37 - 193 Salisbury Rd: E front and N side elevations



AECOM #38 - 2479 Howard Gap Rd: S front and E side elevations



AECOM #39 - 23 Kingswood Dr: N front elevation



AECOM #40 - 509 Brookside Camp Rd: E front and N side elevations



AECOM #41 - 515 Brookside Camp Rd: S front and W side elevations



AECOM #41 - 515 Brookside Camp Rd: S front and E side elevations of log cabin; frame cabin at left



AECOM #42 - 511 Brookside Camp Rd: SE front elevation



AECOM #43 (HN1933) - 1959 Clear Creek Rd: E front and N side elevations of house, at left; garage/apartment at right



AECOM #44 (HN1964) - Brookside Camp Rd over I-26: view looking E at bridge



AECOM #45 (HN1932) - 1845 Clear Creek Rd: E front and N side elevations



AECOM #46 - 1803 Clear Creek Rd: S side and E front (enclosed porch) elevations



AECOM #47 (HN1963) - Clear Creek Rd over I-26: view looking E at bridge



AECOM #48 (HN1934) - 104 Alex Cove Rd: E front and S side elevations



AECOM #49 (HN1935) - 619 Hyder Farm Rd: E front and S side elevations



AECOM #50 (HN1906) - 679 Hyder Farm Rd: Hyder Dairy Farm farmhouse, S front and W side elevations



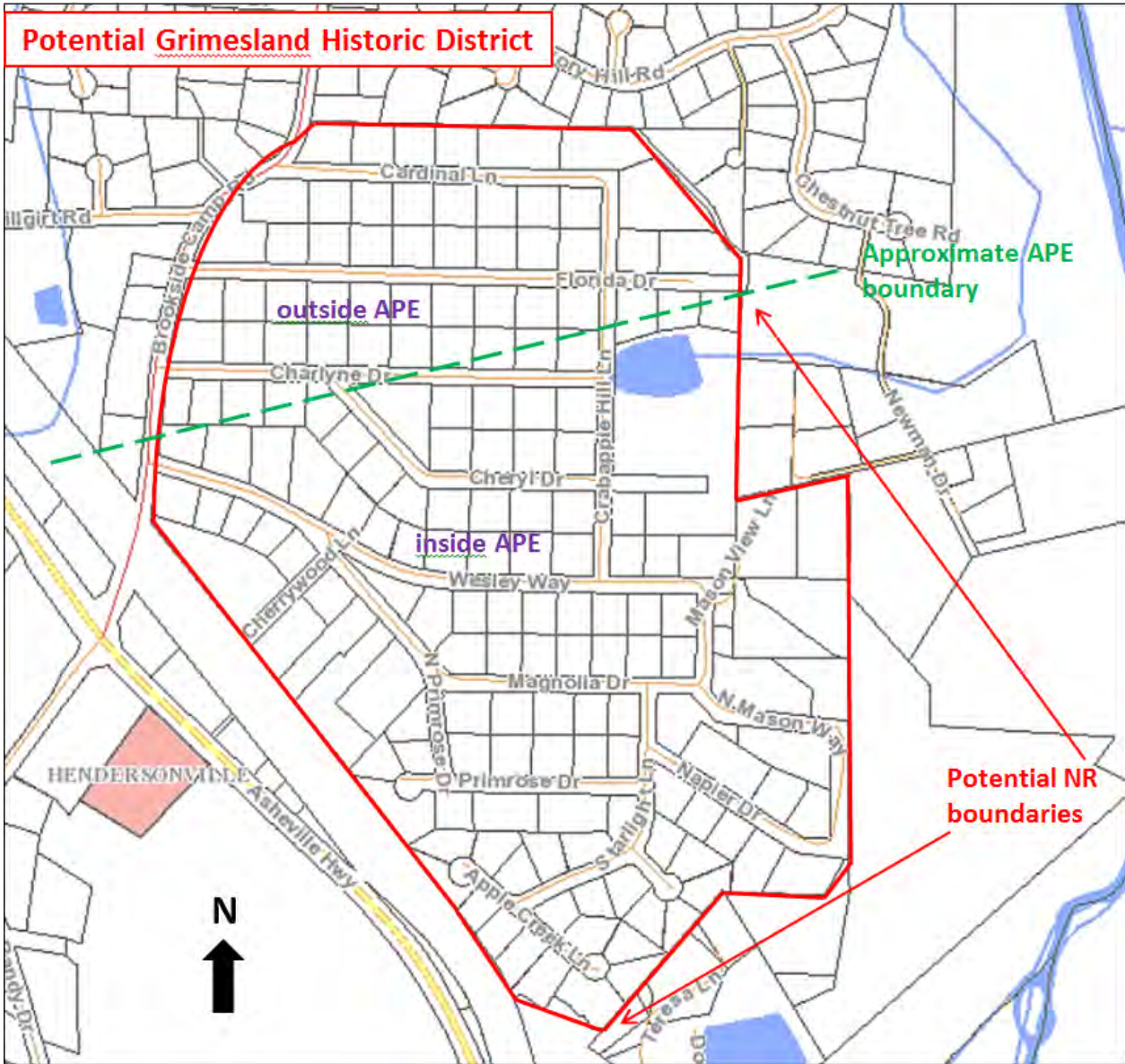
AECOM #51 - 825 Clear Creek Rd: Sholtz-Cantrell Estate house, E side and S front elevations



AECOM #52 - 239 Balfour Rd: W front and N side elevations



AECOM #53 - 69 Balfour Rd: Berkeley Mills Ballpark, looking E at grandstand and ballfield



AECOM #54 – Potential Grimesland Historic District

AECOM #54 – Potential Grimesland Historic District: inside APE



*Left - NE corner of Brookside Camp Rd and tracks looking NE: sign and 102 Brookside Camp (c1963)
Right - S side of Magnolia E of Brookside Camp looking SE: 3211 at left (c1962) and 3221 at right (c1962) Magnolia*



Left - S side of Napier E of Starlight looking SE – 3085 at right (c1965) and 3083 at left (c1975)
Napier
Right – E side of N Mason N of Napier looking NE – 186 N Mason (c1966)



Left - W side of Wesley N of Magnolia looking NW - 3088 Magnolia (c1961) at left, 3089 Wesley (c1963) at center, 3082 Wesley (c1965) at right
Right - S side of Wesley W of Magnolia looking SE - 3129 at left (c1961) and 3131 at right (c1959) Wesley

AECOM #54 – Potential Grimesland Historic District: inside APE



Left - N side of Primrose E of N Primrose looking NW - 3129 N Primrose at left (c1980) and 3124 Primrose at right (c1979)

Right - Looking SE down Crabapple at Starlight – 40 Crabapple at left (c1979) and 38 Starlight at right (c1981)



Left - Looking S down Starlight at Primrose – 38 at left (c1981) and 49 at right (c1979) Starlight
Right – W side of Apple Creek S of Starlight looking SE – 25 at left (c1989), 27 at center (c1980), 29 Apple Creek at right (c1982)



Left - S side of Cheryl W of Crapapple Hill looking SW - 3113 at left (c1963) and 3123 at right (c1960) Cheryl
Right - N side of Charlyne E of Cheryl looking NE – 3146 Charlyne at left (c1956)

AECOM #54 – Potential Grimesland Historic District: outside APE



Left - S side of Florida E of Brookside Camp looking E – 3237 Florida (c1968) and entry post

Right - Looking W down Florida W of Crabapple Hill – 3156 at left (c1966) and 3158 at right (c1980)
Florida



Left - NE corner of junction of Cardinal and Brookside Camp looking NE – entry post at left, 3120 at center (c1964), 3160 at right (c1959) Cardinal
Right – E side of Crabapple Hill E of Cardinal looking SE – 290 at left (c1960) and 280 at right (c1961) Crabapple Hill

AECOM #54 – Potential Grimesland Historic District: W of potential boundaries



E side of Brookside Camp S of Florida looking SW – 147, 149, 151, 155, 157 and 159 Brookside Camp, far left to right (ca.c1980 to c1985)



AECOM #55 - 676 Stoney Mountain Rd: SW front and NW side elevations



AECOM #56 - 692 Stoney Mountain Rd: SW front and SE side elevations



AECOM #56 - 692 Stoney Mountain Rd: SW front elevation



AECOM #57 - 715 Stoney Mountain Rd: NE front and NW side elevations



AECOM #58 – 800 Stoney Mountain Rd: W front elevation



AECOM #58 - 800 Stoney Mountain Rd: view looking N



AECOM #58 - 800 Stoney Mountain Rd: mantel in front room/living room



AECOM #59 - 812 Stoney Mountain Rd: S front and E side elevations



AECOM #59 - 812 Stoney Mountain Rd: S front elevation



AECOM #60 - 809 Stoney Mountain Rd: N front elevation



AECOM #61 - 256 Transfer Station Drive: looking S at c1948 former County Home Cemetery stones and marker



AECOM #61 - 256 Transfer Station Drive: looking N at c1948 former County Home Cemetery stones and marker with County weigh station and landfill in distance



AECOM #62 - 855 Stoney Mountain Rd: N front and E side elevations



AECOM #63 – 102 Leverette Dr: N front and E side elevations



AECOM #63 – 102 Leverette Dr: N front and E side elevations



AECOM #64 – 101 Leverette Dr: S front and W side elevations



AECOM #64 – 101 Leverette Dr: S front and E side elevations



AECOM #65 – 104 Leverette Dr: W front elevation



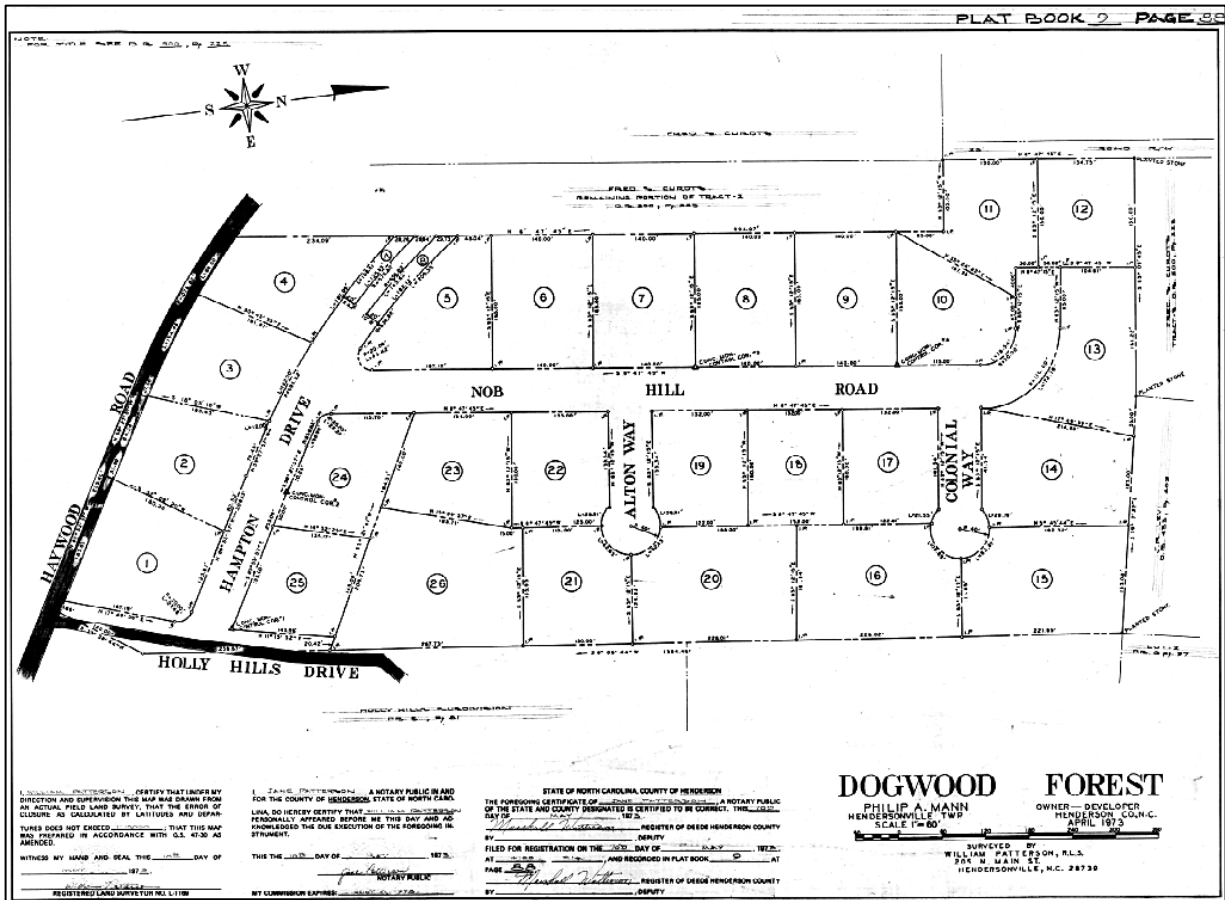
AECOM #66 - 203 Leverette Dr: S front and E side elevations



AECOM #67 - 109 Twin Brook Dr: E front and N side elevations



AECOM #68 - 208 Leverette Dr: E side and N front elevations



AECOM #69 – Dogwood Forest Subdivision, April 1973 (see photos of #70-92)



AECOM #70 - 2801 Hampton Dr: N front elevation



AECOM #71 - 2805 Hampton Dr: N front and E side elevations



AECOM #72 - 2809 Hampton Dr: N front elevation



AECOM #73 - 2813 Hampton Dr: W front and N side elevations



AECOM #74 - 2816 Hampton Dr: S front and W side elevations



AECOM #75 - 2804 Hampton Dr: S front and W side elevations



AECOM #76 - 107 Nob Hill Rd: SE front elevation



AECOM #77 - 115 Nob Hill Rd: E front elevation



AECOM #78 - 119 Nob Hill Rd: E front and N side elevations



AECOM #79 - 123 Nob Hill Rd: S front (entry not visible) and E side elevations



AECOM #80 - 127 Nob Hill Rd: E front elevation



AECOM #81 - 128 Nob Hill Rd: S front elevation



AECOM #82 - 124 Nob Hill Rd: S front and E side elevations



AECOM #83 - 12 Colonial Way: S front and E side elevations



AECOM #84 - 16 Colonial Way: W front and S side elevations



AECOM #85 - 17 Colonial Way: N front elevation



AECOM #86 - 120 Nob Hill Rd: W front elevation



AECOM #87 - 116 Nob Hill Rd: W front and N side elevations



AECOM #88 - 112 Nob Hill Rd: W front and S side elevations



AECOM #89 - 14 Alton Way: S front and W side elevations



AECOM #90 - 15 Alton Way: N front and W side elevations



AECOM #91 - 11 Alton Way: N front and E side elevations



AECOM #92 - 104 Nob Hill Rd: W front and S side elevations



AECOM #93 - 109 May Dr: S front and E side elevations



AECOM #94 - 110 May Dr: N front and E side elevations



AECOM #95 - 119 May Dr: N front and W side elevations



AECOM #96 - 120 May Dr: N front and E side elevations



AECOM #97 - 2839 Haywood Rd: E front and S side elevations



AECOM #97 - 2839 Haywood Rd: E front and N side elevations



AECOM #97 - 2839 Haywood Rd: N side elevation



AECOM #98 - Adjacent (N of) 170 Mistletoe Tr: View looking SW at early fieldstones and headstones in McCarson Family Cemetery



AECOM #98 - Adjacent (N of) 170 Mistletoe Tr: View looking W at headstones and fieldstones in McCarson Family Cemetery



AECOM #98 - Adjacent (N of) 170 Mistletoe Tr: Headstone of Mary Richardson (1802-1823) in McCarson Family Cemetery

Potential Sedgewood Development Historic District



AECOM #99a – Sedgewood Development, April 1973 (see photos of #99b-103)



AECOM #99b - 105 Shannon Rd: E front elevation



AECOM #100 - 109 Shannon Rd: E front and S side elevations



AECOM #101 - 113 Shannon Rd: E front and S side elevations



AECOM #102 - 117 Shannon Rd: SE front and NE side elevations



AECOM #103 - 201 Shannon Rd: E front elevation



AECOM #104 - 203 Shannon Rd: E front and S side elevations



AECOM #105 - 207 Shannon Rd: E front and S side elevations



AECOM #106 - 215 Shannon Rd: E front and N side elevations



AECOM #107 - 130 Castleton Ln: N side and E rear elevations



AECOM #108 - 126 Castleton Ln: W front and N side elevations



AECOM #109 - 122 Castleton Ln: W front and N side elevations



AECOM #110 - 118 Castleton Ln: W front elevation



AECOM #111 - 114 Castleton Ln: W front and S side elevations



AECOM #112 - 110 Castleton Ln: W front and N side elevations



AECOM #113 - 106 Castleton Ln: W front and S side elevations



AECOM #114 - 102 Castleton Ln: W front and S side elevations



AECOM #115 - 103 Castleton Ln: E front and S side elevations



AECOM #116 - 107 Castleton Ln: E front and S side elevations



AECOM #117 - 111 Castleton Ln: E front and S side elevations



AECOM #118 - 115 Castleton Ln: E front and S side elevations



AECOM #119 - 119 Castleton Ln: E front elevation



AECOM #120 - 123 Castleton Ln: E front and S side elevations



AECOM #121 - 127 Castleton Ln: S side elevation



AECOM #122 - 202 Castleton Ln: S front and W side elevations



AECOM #123 - 230 Shannon Rd: S front and W side elevations



AECOM #124 - 226 Shannon Rd: SW front elevation



AECOM #125 - 224 Shannon Rd: W front elevation



AECOM #126 - 222 Shannon Rd: W front and N side elevations



AECOM #127 - 214 Shannon Rd: W front and S side elevations



AECOM #128 - 210 Shannon Rd: W front and N side elevations



AECOM #129 - 206 Shannon Rd: W front elevation



AECOM #130 - 202 Shannon Rd: W front and N side elevations



AECOM #131 - 112 Shannon Rd (at left): W front and N side elevations



AECOM #132 - 108 Shannon Rd: W front elevation



AECOM #133 - 100 Shannon Rd: W front and N side elevations



AECOM #134 (HN0248) - 3250 Haywood Rd: Jamison House SW front and NW side elevations



AECOM #134 (HN0248) - 3250 Haywood Rd: Jamison House SW front and SE side elevations; barn at left



AECOM #134 (HN0248) - 3250 Haywood Rd: Jamison House SE side and NE rear elevations; barn at right



AECOM #134 (HN0248) - 3250 Haywood Rd: Jamison House NE rear and NW side elevations; garage at left and shed at right



AECOM #135 (HN0043) - 3346 Haywood Rd: Moss-Johnson Farm main house SW front and SE side elevations



AECOM #135 (HN0043) - 3346 Haywood Rd: Moss-Johnson Farm main house NW side and NE rear elevations



AECOM #135 (HN0043) - 3346 Haywood Rd: View looking NE at schoolhouse (moved to property) and barn (1923)